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# Pelican Watch Villa Owners' Association

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## Standards for Exterior Repairs & Improvements

**August 2023**



**Pelican Watch Villa Owners' Association**

**Management Company:**

**Ravenel Associates**

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## **INTRODUCTION**

This document provides Standards for modifying or repairing the exterior of residences in the Pelican Watch Villa Owners' Association (PWVOA) community. This Introduction outlines the Approval Process that property owners must follow to request and execute those exterior changes.

It is important to understand both the Approval Process and its requirements to adherence to the standards. They are the key to obtaining approval for any and all exterior changes to units within PWVOA. The Standards document aims to ensure a basic quality of construction and consistency of external appearance throughout the PWVOA community.

### **RATIONALE FOR "STANDARDS"**

As a general rule, TOSI regulations require that PWVOA units' external appearance remain consistent with the "as-built" standards. However, over time it has been necessary to adapt to changes in construction methods or available materials (e.g., the original light fixtures are no longer sold in the marketplace or regulators have changed their requirements for the positioning of HVAC equipment). In some cases, owners have made exterior changes that are noticeably different from the neighboring units that are compliant with "as-built" standards. As such, the need for 'standards' is necessary. "Standards" are the tools that the PWVOA Board and the Architectural Review Committee (ARC) of the Seabrook Island Property Owners Association (SIPOA) use to ensure consistency of exterior appearance throughout the community.

### **APPLICABLE STANDARDS AND REGULATIONS**

These Standards apply to many aspects of the units' construction and the exterior elements such as decks, lighting, hardscape, landscape design, appurtenant structures, etc. Certain "as-built" standards have been updated, or alternatives have been authorized; this approval came from the PWVOA Board and the SIPOA ARC. The approved modifications and alternatives are defined in this document's Standards.

The Standards in this document are the first-level authority for modifications to PWVOA residences. The second-level authority is the "as-built" Standard--from the time of construction. For subjects not addressed by either of these sources, the PWVOA units are subject to requirements defined in the *Master Deed for Pelican Watch Villas Horizontal Property Regime* and relevant regulations of governmental authorities.

Many aspects of modifications to structures and buildings on Seabrook Island are subject to regulations established by TOSI, the Charleston County Building Code as enforced by its Building Inspection Services department (CCBIS), certain state agencies (e.g., DHEC OCRM<sup>1</sup>), and certain Federal agencies (e.g., FEMA<sup>2</sup>). It is the responsibility of property owners, architects, and contractors to determine all applicable requirements and complete their work according to them.

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<sup>1</sup> South Carolina Department of Health and Environmental Control (DHEC) office of Ocean and Coastal Resource Management (OCRM)

<sup>2</sup> Federal Emergency Management Agency (FEMA)

## **"FROM THIS POINT FORWARD" POLICY**

As a general rule, it is required that repairs match the element that is being replaced. However, under the "From This Point Forward" policy, repairs that involve replacing 30% or more of a feature of a unit's existing exterior design must comply with these Standards and/or the SIPOA P&P as appropriate.

## **PROCESS FOR MODIFYING THESE STANDARDS**

Updating these Standards is an ongoing process. Beyond the changes in construction methods or materials mentioned previously, a modified standard might be the result of a property owner's request for an exterior modification that a PWVOA Standard does not currently cover (e.g., a deck awning, hurricane shutters, enclosure of a screened porch, or addition of dormers). Modification requests that successfully transit the Approval Process outlined below will be added to this document so they are available for future use by all PWVOA property owners and their contractors. Standards within this document are marked with the date of approval or the latest update.

## **APPROVAL PROCESS**

1. The property owner or contractor completes the SIPOA ARC "Exterior Alteration/Improvement Conditional Approval Request" form (available from the "ARC Resources" tab of the SIPOA website) and submits it to the PWVOA Property Manager. While a contractor might prepare the request on behalf of the owner, it is the property owner's responsibility to be aware of relevant regulations and procedures and to ensure they are followed. The work to be performed is described on this form, and accompanying documentation provides details of construction, materials, color, etc. Where appropriate, the description references relevant sections of these Standards.
2. If the work to be performed is in total compliance with the Standards in this document, The PWVOA Property Manager approves the request and sends a copy of the approved request to the requestor (property owner or contractor) and to the ARC Administrator.
3. If the ARC Administrator agrees that the work complies with the Standard, he/she approves the request and sends a copy via email to TOSI, the PWVOA Property Manager, and the requesting property owner or contractor. While there are no PWVOA fees due for the request, SIPOA ARC fees might apply. (The SIPOA fee schedule is provided in the P&P on the SIPOA website.) Note that ARC does not charge a fee for maintenance-type projects.
4. If the requested work is not a Standard (i.e., not thoroughly addressed in this document), or if a variance to a Standard as presented in this document is requested:
  - The PWVOA Property Manager reviews the request and forwards it to the PWVOA Board for discussion and approval.
    - If the Board rejects the request, the Property Manager discusses the Board's reasons for rejection with the property owner and helps to resolve

any issues.

- If the Board approves the request, the Property Manager sends a copy via email to the ARC Administrator and the requesting property owner or contractor. The process continues as described below.
- If necessary, the ARC Administrator works with the PWVOA Property Manager or property owner to gather any additional project documentation needed for ARC review. The ARC Administrator schedules the request for review by the ARC.
- If the project is approved by the SIPOA ARC:
  - The ARC Administrator sends a copy of the ARC-approved request via email to TOSI, the PWVOA Property Manager, and the requesting property owner or contractor. While there are no PWVOA fees due for the request, SIPOA ARC fees might apply. (The SIPOA fee schedule is provided in the P&P on the SIPOA website.) Note that ARC does not charge a fee for maintenance-type projects.
  - The PWVOA Property Manager adds the ARC-approved construction elements to the Standards in this document, thereby making them available for use by all PWVOA property owners.
  - The PWVOA Property Manager submits a copy of the updated PWVOA Standards document to the ARC Administrator and publishes the updated standards document for use by PWVOA property owners.
- If the project is not approved by the SIPOA ARC, the ARC Administrator notifies the requestor and the PWVOA Property Manager of the reasons for rejection. As appropriate, the Property Manager may assist the property owner in addressing any issues that led to ARC's rejection of the proposal.

Additional information regarding the completion of the work:

- TOSI requirements for the contractor to have a TOSI Business License apply for most projects. (For the protection of property owners, the TOSI requires that contractors have a TOSI Business License to verify that the contractor has appropriate credentials, insurance, and, if applicable, Workmen's Compensation insurance.) It may be necessary to obtain permits from TOSI, CCBIS, and/or other governing agencies. Fees charged by TOSI and CCBIS may be found on their websites.
- Note that while PWVOA and SIPOA ARC approvals are not generally required for interior work (such as plumbing and electrical, which are outside the scope of this document), TOSI and/or CCBIS may require that permits or licenses be issued for this work.
- All work must be completed in accordance with applicable standards, whether contained within this document, in the SIPOA P&P, in TOSI Zoning and related Ordinances, in Charleston County Building Code and Ordinances, and/or in regulations of any other applicable governing authorities.

- Upon completion of the improvement project, final approval must be obtained from the appropriate governing authorities (e.g., PWVOA Property Manager, SIPOA ARC, CCBIS, etc.).

### **CONCLUSION**

For additional information about either the Approval Process or these Standards, contact the PWVOA Property Manager. (Contact information is provided on the front cover of this document.) Contact information for the SIPOA ARC Administrator is available from the SIPOA website, and contact information for TOSI and CCBIS representatives is available from their websites.

**Definitions under Responsibility:**

**General Common Elements:** Per Section 2.05 of the Master Deed, these elements generally consist of items that equally serve all of the Villas. The responsibility to maintain, repair, and/or replace is solely that of the Regime. The Regime has the financial responsibility for this work.

**Limited Common Elements:** Per Section 2.06 of the Master Deed, these elements generally consist of items that serve one or more but less than all of the Villas. The Regime's responsibility is to ensure that these elements are maintained, repaired, and/or replaced. It is the financial responsibility of each individual Villa owner to pay for the maintenance, repair, and/or the replacement of these limited common elements. Each owner has the option to perform the required maintenance, repair, and/or replacement or have the Regime perform the work and bill the respective owner the cost of such work.

**Owner Options:** These items generally consist of approved elements specific to a single Villa and are solely the individual owner's responsibility to maintain, repair, and/or replace.



## 1. Building Enclosure Elements

### 1a. Roofing (including Vent Stacks and Chimney Flue Caps)

(Item 11, Original Standard dated March 7, 2015)

Responsibility:	General Common Element
Location:	Villa Roof
Manufacturer:	<u>Shingles</u> : GAF Materials Corporation Any other brand must be checked against the approved Standard
Materials:	30-year architectural grade shingle
Style & Description:	Timberline Select 40®
Size:	
Color:	<u>Shingles</u> : Weathered wood
Misc. Details/Comments:	Regime Office has complete specifications and details



Figure 1a  
Roofing

## **1. Building Enclosure Elements (cont'd)**

### **1b. Siding**

(Item 6a - Original Standard dated March 7, 2015)

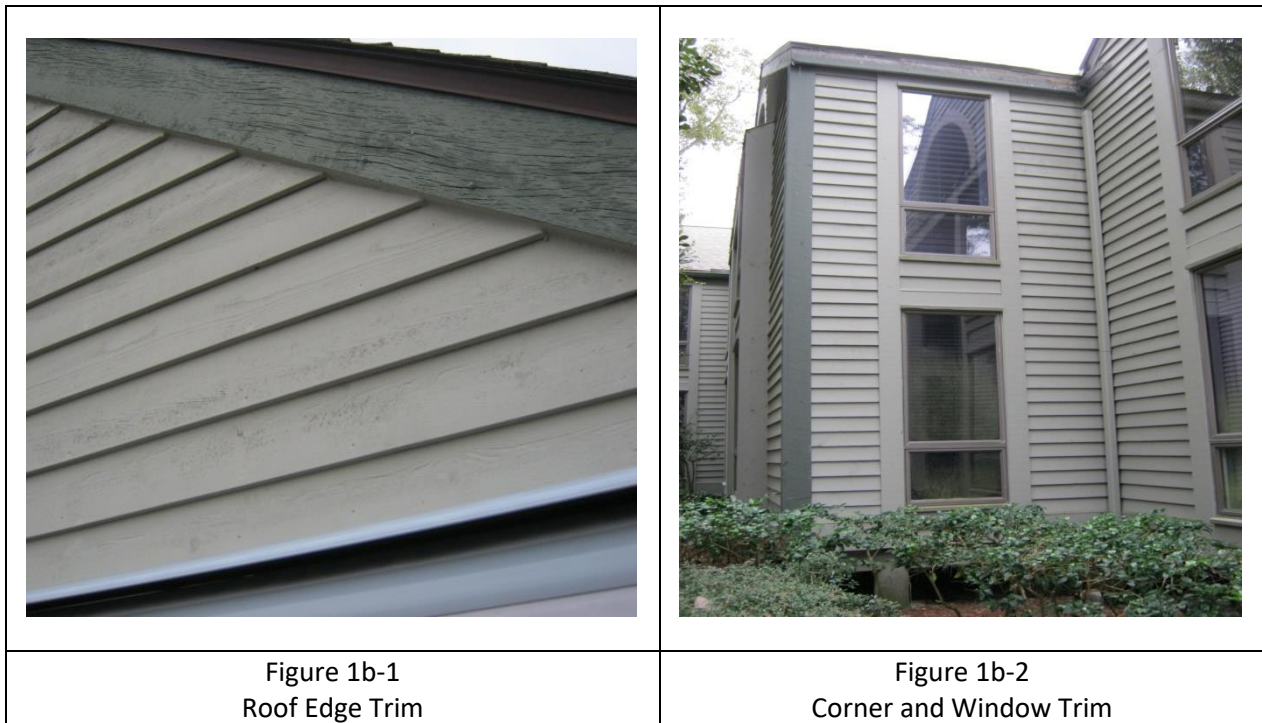
Responsibility:	General Common Element
Location:	Villa Exterior
Manufacturer:	
Materials:	Rough sawn cypress 1/8 beveled lap siding.
Style & Description:	
Size:	Siding boards are to be 5/8" x 4' x 8'
Color:	<ul style="list-style-type: none"><li>• Siding must be painted with the approved Villa Body Color</li><li>• See Appendix B for a detailed explanation of painting requirements, colors to be used, and location-specific painting instructions</li></ul>
Misc. Details/Comments:	Mixing of materials (i.e., using both T1-11 and cementitious siding) is not permitted.

**1. Building Enclosure Elements (cont'd)**

**1d. Trim**

(Item 6b - Original Standard dated March 7, 2015)

Responsibility:	General Common Element
Location:	Villa Exterior
Manufacturer:	N/A
Materials:	Pressure-treated pine
Style & Description:	Match original
Size:	Size to match original trim size
Color:	<ul style="list-style-type: none"> <li>• Trim must be painted with the approved Trim Color</li> <li>• See Appendix B for a detailed explanation of painting requirements, colors to be used, and location-specific painting instructions</li> </ul>
Misc. Details/Comments:	Mixing of materials (i.e., using both cedar and cementitious siding) is not permitted



## **1. Building Enclosure Elements (cont'd)**

### **1e. Foundation Elements / Lattice / Louvers**

#### **1e.1 Support Posts/Columns**

(New item)

Responsibility:	General Common Element
Location:	Villa exterior, installed under main beams (trusses) of villas
Manufacturer:	
Materials:	<ul style="list-style-type: none"><li>• Ground contact pressure treated solid wood</li><li>• Hollow framing is not permitted</li></ul>
Style & Description:	
Size:	<ul style="list-style-type: none"><li>• Footings/posts shall be 6" x 6"</li><li>• Footings for the posts (or columns) shall be no higher than grade level</li></ul>
Color:	<ul style="list-style-type: none"><li>• Posts (or columns) must be painted with the approved Villa Body Color</li><li>• See Appendix B for a detailed explanation of painting requirements, colors to be used, and location-specific painting instructions</li></ul>
Misc. Details/Comments:	

## 2. Doors

### 2a. Entrance Door

(Item 4a Original Standard dated March 7, 2015)

Responsibility:	Limited Common Element
Location:	Villa Exterior, main entry
Manufacturer:	Plastpro or Similar
Materials:	Fiberglass
Style & Description:	Smooth, single door unit with frame saver jambs, narrow 1-lite rain impact glass
Size:	<ul style="list-style-type: none"><li>• 1 3/4" x 36" x 80"</li><li>• The replacement door must be the same size as the original door</li><li>• In no case is the size of the rough opening for the door to be modified</li><li>• Must be impact glass to meet code</li></ul>
Color:	<ul style="list-style-type: none"><li>• Sherwin Williams Woodscapes- SW3001 Shagbark</li><li>• See Appendix B for a detailed explanation of painting requirements, colors to be used, and location-specific painting instructions</li></ul>
Misc. Details/Comments:	<ul style="list-style-type: none"><li>• Address Plaque not to be placed on door</li><li>• Can be left hand or right hand</li><li>• An optional screen door may be added (see Section 2b-Screen Door for specifications)</li></ul>

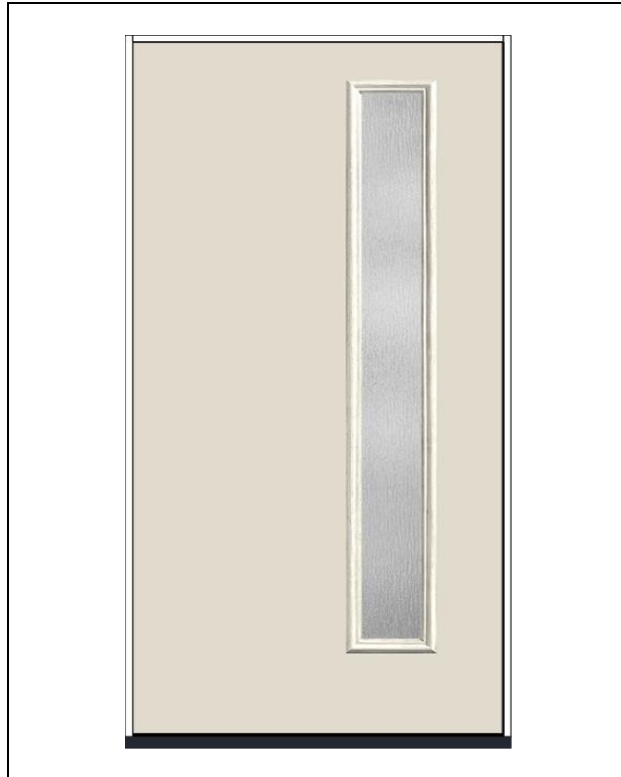


Figure 2a  
Entrance Door

**2. Doors (cont'd)**

**2a. 1 Door Hardware**

(Item 4b - Original Standard dated March 7, 2015)

Responsibility	Limited Common Element
Location:	Front Entrance Door Hardware
Manufacturer:	Kwikset or Schlage
Materials:	
Style & Description:	San Clemente Low Profile Venetian Bronze Single Cylinder Entry Door Handleset w Halifax Square Door Handle ft SmartKey Security. Exterior Square Lever Handle
Size:	<ul style="list-style-type: none"> <li>• 17.9" 2.7" x 2.6" - Square</li> </ul>
Color:	<ul style="list-style-type: none"> <li>• Venetian Bronze/ Aged Bronze</li> <li>• No other colors will be permitted</li> </ul>
Misc. Details/Comments:	Exterior to be square lever handle



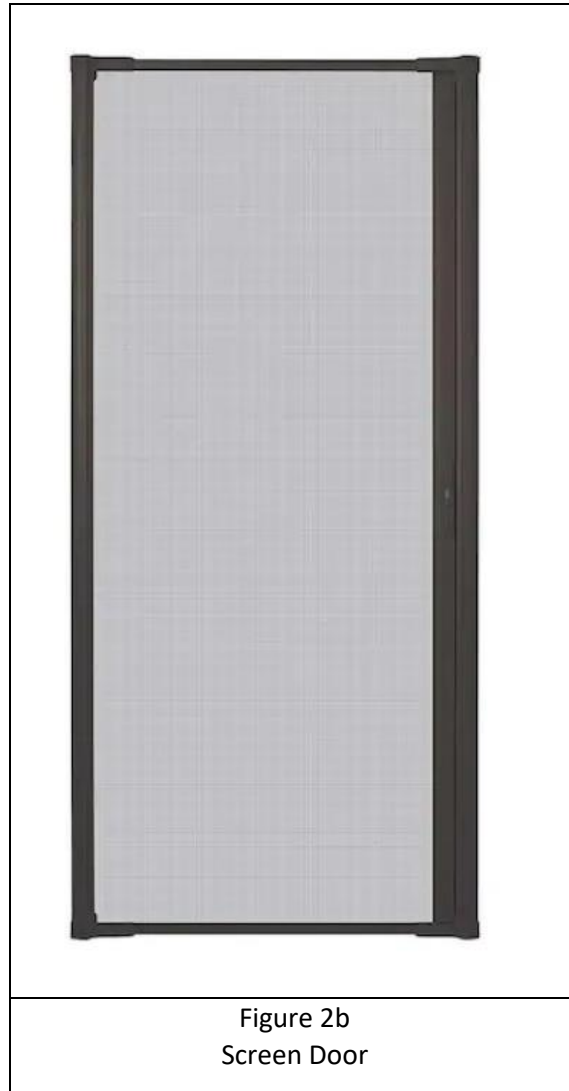
Figure 2b  
Entry Door Hardware

## 2. Doors (cont'd)

### 2b. Storm Door

(Item 4b - Original Standard dated March 7, 2015)

Responsibility	Limited Common Element
Location:	Front Entrance Screen Door
Manufacturer:	Andersen
Materials:	Aluminum
Style & Description:	LuminAire single universal Gliding retractable screen door
Size:	<ul style="list-style-type: none"><li>• 2" x 36" x 80"</li></ul>
Color:	<ul style="list-style-type: none"><li>• Bronze</li><li>• No other colors will be permitted</li></ul>
Misc. Details/Comments:	The screen door is not a requirement and may be removed





## 2. Doors (cont'd)

### 2c. Sliding Glass Door

(Item 4c-1 & 4c-2 - Original Standard dated March 7, 2015)

Responsibility:	Limited Common Element
Location:	Rear (oceanside) of villa
Manufacturer:	<ul style="list-style-type: none"> <li>• Anderson</li> <li>• Pella</li> <li>• New South *Preferred</li> </ul>
Materials:	Bronze, High-Performance Low-E Tempered impact-resistant clear glass, no grills
Style & Description:	<ul style="list-style-type: none"> <li>• Anderson - Triple slider Model No FWGD3368-FWGD6068, w/screen</li> <li>• Pella – Pella 350 Series Triple Sliding Door Fixed, w/ bronze screen</li> <li>• New South- Vinyl SBG Series 5570, w/ Bronze Screen</li> </ul>
Size:	<ul style="list-style-type: none"> <li>• Replacement door to be the same size as the original door</li> <li>• In no case is the size of the rough opening for the door to be modified</li> </ul>
Color:	Exterior: Bronze Interior: Owner's choice, bronze sill *See Figures
Misc. Details/Comments:	Reinforced Mullion Three existing doors currently installed (Units 1393, 1395, &1397) do not meet these requirements but have previously been accepted. When replacement of these doors occur, the new installation shall comply with these standards



Figure 2c-1  
Anderson Sliding Door



Figure 2c-2  
Pella Sliding Door



Figure 2c-3  
New South Sliding Door

## 2. Doors (cont'd)

### 2d. Rear Deck Door

(Item 4d - Original Standard dated March 7, 2015)

Responsibility:	Limited Common Element
Location:	Rear Deck Door
Manufacturer	Sapele
Materials:	Wood
Style & Description:	Mahogany Louvered Door
Size:	<ul style="list-style-type: none"><li>• 1 3/4" x 3'-0" x 6'-8" Replacement door to be the same size as the original door</li><li>• In no case is the size of the rough opening for the door to be modified</li></ul>
Color:	<ul style="list-style-type: none"><li>• Paint to match approved Villa Body Color</li><li>• <i>See Appendix B for a detailed explanation of painting requirements, colors to be used, and location-specific painting instructions</i></li></ul>
Misc. Details/Comments:	



Figure 2d  
Flush-Style Solid Door

### 3. Windows

#### 3a. Operable Windows

(Item 14a - Original Standard dated March 7, 2015)

Responsibility:	Limited Common Element
Location:	Villa Exterior (see Figure 3-4 for window styles and permitted locations)
Manufacturer:	Anderson
Materials:	Terratone clad/pine, Low-E Tempered impact-resistant glass
Style & Description:	<ul style="list-style-type: none"> <li>Fixed Pane upper unit w/ full awning window at the base. Units shall be factory molded</li> </ul>
Size:	<ul style="list-style-type: none"> <li>Match existing size per location</li> <li>In no case is the size of the rough opening for the window to be modified</li> </ul>
Color:	Match existing size per location
Misc. Details/Comments:	<ul style="list-style-type: none"> <li>Side bay windows to be a combination of three units. New windows requested because of interior upgrades shall be identical to the standard windows as described. The location shall be submitted for approval before installation.</li> </ul>

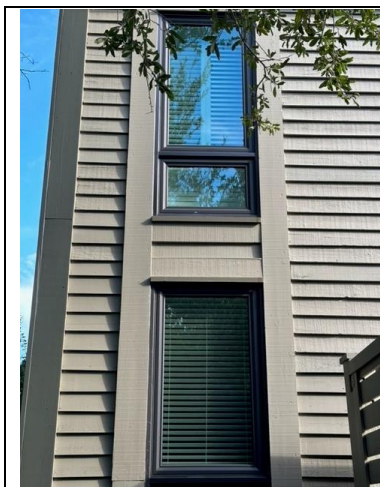


Figure 3a-1  
Entrance Outside Corner Window



Figure 3a-2  
Front (parking lot) Window

Figure 3-1 and 3-2 above indicates window styles that may be placed at each location on the front entrance of the villa.

**3. Windows (cont'd)**

**3b. Fixed Windows**



Figure 3b-1  
Entrance Front Window

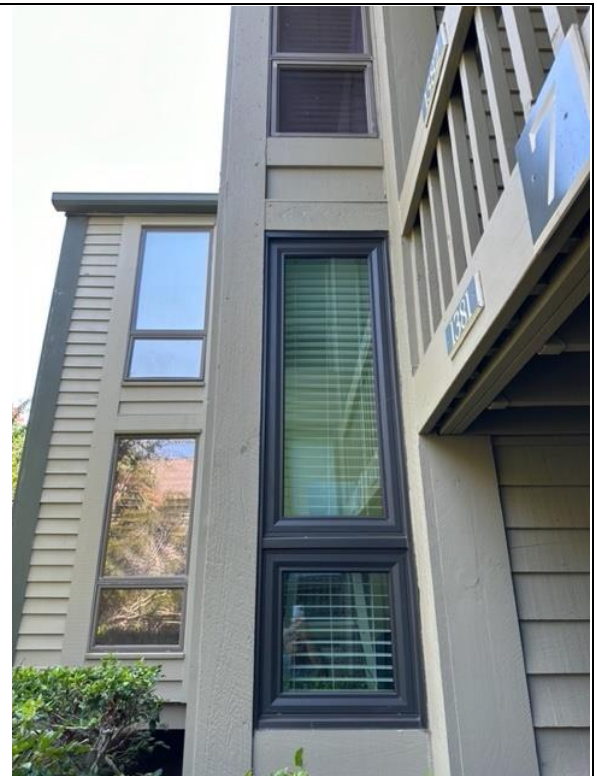


Figure 3b-2  
Entrance Inside Corner Window

Figure 3b-1 and 3b-2 above indicates window styles that may be placed at each location--front and side of the villa:



Figure 3b-3  
Entrance Outside Corner Window

Figure 3b-3 above indicates triple window styles that may be placed at each location on the side of the villa:

## Windows (cont'd)

### 3c. Fixed windows at the rear of combined units

(Item 14b - Original Standard dated March 7, 2015)

Responsibility:	Limited Common Element
Location:	Villa Exterior (see Figure 3c) for window styles and permitted locations). Figure 3c indicates window styles that may be placed as a fixed window at the rear of combined units:
Manufacturer:	New South Windows
Materials:	Bronze, Vinyl Low-E Tempered impact-resistant clear glass.
Style & Description:	<ul style="list-style-type: none"> <li>Fixed Pane upper unit with full awning window at base. For windows at 22" or less in width, the base window may be fixed vs. awning, as long as there are other egress windows in the room.</li> </ul>
Size:	<ul style="list-style-type: none"> <li>Match existing size per location</li> <li>In no case is the size of the rough opening for the window to be modified</li> </ul>
Color:	Exterior: Bronze, Interior: Owner's choice
Misc. Details/Comments:	<ul style="list-style-type: none"> <li>Match existing size per photograph. The curve of new windows to match existing arch and size per photograph</li> </ul>



Figure 3c  
Entrance Outside Corner Window

## 5. Decks and Stairs

### 4a. Decks & Waterproofing

(Item 3a - Original Standard dated March 7, 2015)

Responsibility:	General Common Element
Location:	Second Floor
Manufacturer	Waterproofing System under sleepers Sherwin & Williams
Materials:	<ul style="list-style-type: none"> <li>• <u>SW Armorseal</u></li> </ul>
Style & Description:	Non Slip
Size:	<ul style="list-style-type: none"> <li>• <u>Match existing</u></li> </ul>
Color:	<ul style="list-style-type: none"> <li>• <u>Grey</u></li> <li>• See Appendix B for a detailed explanation of painting requirements, colors to be used, and location-specific painting instructions</li> </ul>
Misc. Details/Comments:	<u>Deck floorboards</u> screwed with stainless steel fasteners to prevent rusting and fastener failure



Figure 4a-1  
Decks, Balusters, and Railing



## 4. Porches, Decks, and Stairs

### 4b. Combined Horizontal Units

(Item 3b - Original Standard dated March 7, 2015)

Responsibility:	Owner Option
Location:	Various
Manufacturer	Sherwin & Williams
Materials:	<ul style="list-style-type: none"><li>Waterproofing System SW Armorseal with topcoat</li></ul>
Style & Description:	Non Slip
Size:	<ul style="list-style-type: none"><li>Match existing</li></ul>
Color:	<ul style="list-style-type: none"><li>Grey</li><li>See Appendix B for a detailed explanation of painting requirements, colors to be used, and location-specific painting instructions</li></ul>
Misc. Details/Comments:	Railings and exterior deck walls can be modified as shown in the photographs when two units are combined. Match railing material and design. Match field paint



Figure 4b-1  
Decks, Balusters, and Railing



Figure 4b-2  
Decks, Balusters, and Railing

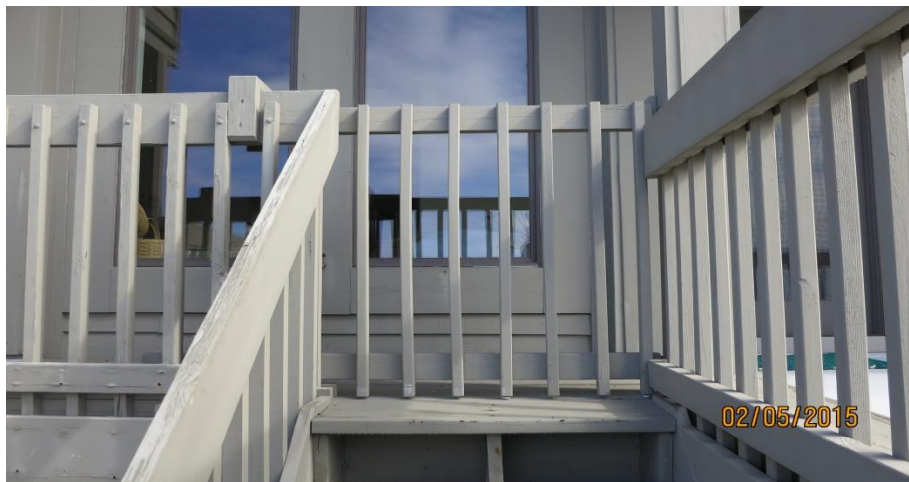


Figure 4b-3  
Pet Gate

## 4. Porches, Decks, and Stairs (cont'd)

### 4c. First Floor Deck

(Item 3c - Original Standard dated March 7, 2015)

Responsibility:	General Common Element
Location:	First Floor
Manufacturer	Waterproofing System under sleepers Sherwin & Williams
Materials:	<ul style="list-style-type: none"><li>• <u>SW Armorseal</u></li></ul>
Style & Description:	<ul style="list-style-type: none"><li>• Non Slip</li></ul>
Size:	<ul style="list-style-type: none"><li>• <u>Match existing</u></li></ul>
Color:	<ul style="list-style-type: none"><li>• See Appendix B for a detailed explanation of painting requirements, colors to be used, and location-specific painting instructions</li></ul>
Misc. Details/Comments:	<u>Deck floorboards</u> screwed with stainless steel fasteners to prevent rusting and fastener failure



Figure 4c-1  
Stairway with Full Risers

## 4. Porches, Decks, and Stairs (cont'd)

### 4d. Stairs

(Item 6c, 6d, 6e - Original Standard dated March 7, 2015)

Responsibility:	General Common Element
Location:	Front and Rear
Manufacturer	N/A
Materials:	<ul style="list-style-type: none"> <li>• <u>Staircase steps</u>: pressure-treated pine, size to match the original size</li> <li>• <u>Staircase risers</u>: pressure-treated pine, size to match the original size</li> <li>• <u>Handrail supports</u>: pressure-treated wood in post-base anchors</li> <li>• <u>Railings</u>: pressure-treated pine</li> <li>• <u>Balusters</u>: pressure-treated pine (see Figures 4c-1, 4c-3)</li> </ul>
Style & Description:	<ul style="list-style-type: none"> <li>• <u>Staircase steps</u>: Full risers are required</li> <li>• <u>Staircase stringers, railings, and balusters</u>: must match deck railing and baluster standards</li> <li>• <u>Staircase supports</u>: 4" x 4" pressure treated wood in post-base anchors are required to anchor staircase support stringers and railings</li> </ul>
Size:	<ul style="list-style-type: none"> <li>• <u>Staircase steps</u>: sized to match original</li> <li>• <u>Staircase risers</u>: sized to match original</li> <li>• <u>Staircase supports</u>: sized to match original</li> <li>• <u>Landing</u>: sized to match original</li> <li>• <u>Railings</u>: sized to match original</li> <li>• <u>Balusters</u>: sized to match original</li> </ul>
Color:	<ul style="list-style-type: none"> <li>• Siding must be painted with the approved Villa Body Color</li> <li>• See Appendix B for a detailed explanation of painting requirements, colors to be used, and location-specific painting instructions</li> </ul>
Misc. Details/Comments:	Total replacement of this element shall be reviewed for code compliance.

		
<p>Figure 4d-1 Front Stairway</p>	<p>Figure 4d-2 Rear Stairway</p>	<p>Figure 4d-3 Front Steps Handrails</p>

## 5. Lighting

### Important note regarding lighting replacement:

This Standard provides Pelican Watch Villa Owners Association (PWVOA) approval for exterior lighting replacements, provided the installation also meets all applicable codes. As of December 2010, PWVOA's current lighting standard for the exterior post and wall lighting has proven to be very difficult to find, both for fixture replacements and replacement bulbs/parts for the fixtures. In addition to these concerns, the current standards do not meet the new "Dark-Sky" requirements as stated by the Seabrook Island Property Owners Association.

### 5a. Porch Lighting

(Item 5d - Original Standard dated March 7, 2015)

Responsibility:	General Common Element
Location:	Upper & Lower Deck ceiling lights
Manufacturer	Juno Lighting
Materials:	
Style & Description:	Model # IC 1RLEDG Series, dedicated 4-inch LED DL 600lm
Size:	
Color:	White bezel
Misc. Details/Comments:	Future lighting replacements will comply with Policies and Procedures standards. Future recessed downlights in ceiling porches must be deep recessed fixtures with limited path beam-spread

**5b. Entrance Door Lighting**

(Item 5a - Original Standard dated March 7, 2015)

Responsibility:	Limited Common Element
Location:	The original Entrance Door Light location is to the left of the front door and may not be relocated
Manufacturer	WAC lighting
Style & Description:	Tao outdoor wall sconce, model WS-W5312, 3000K-90, 11W glass (see Figure 5b)
Size:	6"W X 1"H X 2"D
Color:	Bronze
Misc. Details/Comments:	Existing light fixtures do not comply with the current lighting standards. When the Regime determines the fixtures require replacement, compliant fixtures will be submitted for approval. When approved, pictures of the new fixtures will be added

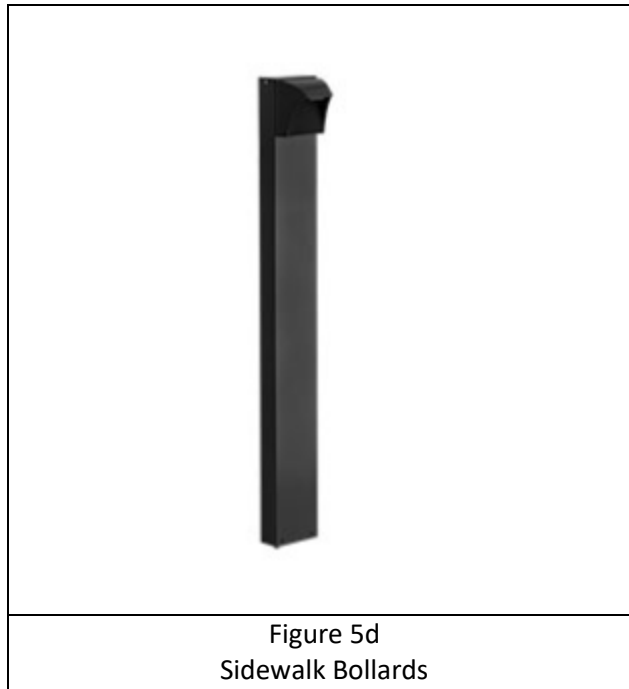


## **5. Lighting (cont'd)**

### **5c. Sidewalk Lighting**

(Item 5f - Original Standard dated March 7, 2015)

Responsibility:	General Common Element
Location:	Front walkway lighting
Manufacturer	RAB
Materials:	NA
Style & Description:	BLED5-42Y- Square bollard LED Single Head 5 watt 120v
Size:	42"
Color:	Bronze
Misc. Details/Comments:	



## **5. Lighting (cont'd)**

### **5d. Stairway Lighting**

(Item 5c- Original Standard dated March 7, 2015)

Responsibility:	General Common Element
Location:	Rear Stair Night Lights (White)
Manufacturer	NA
Materials:	NA
Style & Description:	NA
Size:	NA
Color:	NA
Misc. Details/Comments:	Existing light fixtures do not comply with the current lighting standards. When the Regime determines the fixtures require replacement, compliant fixtures will be submitted for approval. When approved, pictures of the new fixtures will be added



## 5. Lighting (cont'd)

### 5e. Parking Area Lighting—Optional Floodlight

(New)

Responsibility:	General Common Element
Location:	Center of the ceiling of carport area under the villa
Manufacturer	<ul style="list-style-type: none"> <li>• Various, as availability of a specific product changes over time</li> <li>• Submit specifications of the desired product to PWVOA Property Manager for approval</li> </ul>
Materials:	
Style & Description:	<ul style="list-style-type: none"> <li>• The example shown is a bronze Energy Star 16" 2-light fixture with a motion sensor (see Figure 5e)</li> <li>• Motion-sensor is required</li> <li>• Protective light shields are required to help avoid intrusion to neighbors</li> <li>• Bulbs must be 40-watt equivalent or less to avoid light intrusion to neighbors</li> </ul>
Size:	Various
Color:	Bronze
Misc. Details/Comments:	Floodlights must point directly downward

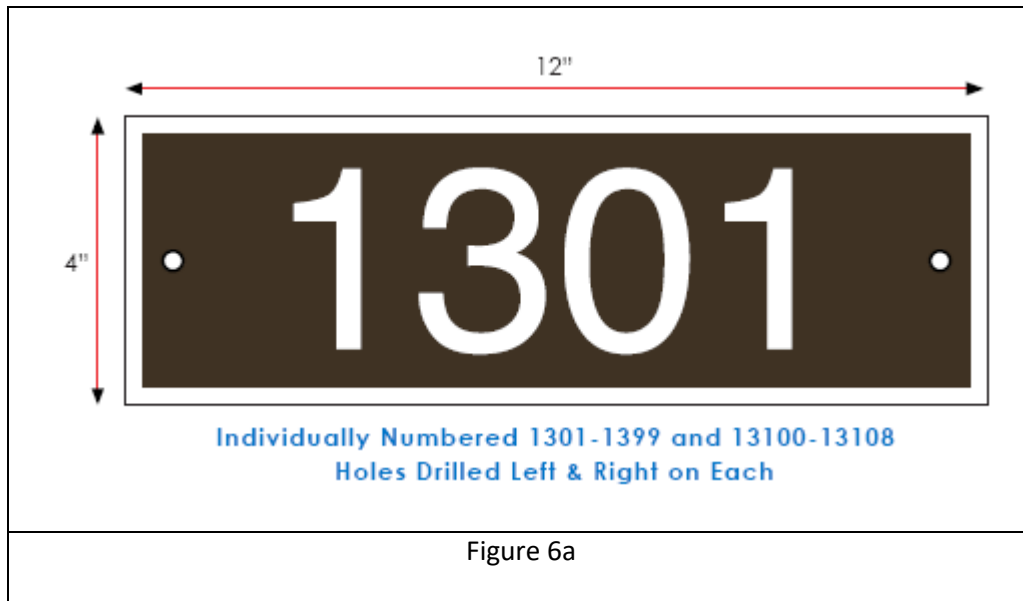


## 6. Signage

### 6a. Address Plaque

(Item 2a, 2b, 2c, 2d- Original Standard dated March 7, 2015)

Responsibility:	General Common Element
Location:	Affixed to the villa exterior: Front Stairwell, Rear Stairwell, Siding near Entry Door
Manufacturer	
Materials:	PVC
Style & Description:	Plaque is all one piece, with numbers
Size:	4" X 12"
Color:	<ul style="list-style-type: none"> <li>Dark Bronze w/ white letters</li> </ul>
Misc. Details/Comments:	



## 7. Exterior Accessories

### 7b. HVAC Stands

(Item 26 - Original Standard dated March 7, 2015)

Responsibility:	General Common Element
Location:	<ul style="list-style-type: none"> <li>If permitted based on County code and elevation certificate, the replacement is to be installed in the original location</li> </ul>
Manufacturer	NA
Materials:	<ul style="list-style-type: none"> <li>Pressure-treated solid wood</li> <li>Hinges and other hardware must be stainless steel</li> </ul>
Style & Description:	Match Existing
Size:	<ul style="list-style-type: none"> <li>Units must fit within the platform and be obscured from view utilizing deck railings and pilasters to match the existing design</li> </ul>
Color:	<ul style="list-style-type: none"> <li>Enclosure elements must be painted to match the approved Villa Body Color</li> <li>See Appendix B for a detailed explanation of painting requirements, colors to be used, and location-specific painting instructions</li> </ul>
Misc. Details/Comments:	Any adjustment to the size or design of the HVAC platform must be submitted to the PWVOA Property Manager for approval



**Figure 7b-1  
HVAC Stand**



**Figure 7b-2  
HVAC Stand**

**7. Exterior Accessories**

**7h. Hurricane Protection**

(Item 9 - Original Standard dated March 7, 2015)

Responsibility:	General Common Element
Location:	If permitted based on County code and elevation certificate
Manufacturer	Weather Guard
Materials:	Steel
Style & Description:	Match Existing
Size:	Size per opening
Color:	Paint to match Building Field Color
Misc. Details/Comments:	Manual or electric



**Figure 7h-1  
Hurricane Shutters**



**Figure 7h-2  
Hurricane Shutters**

## **7. Exterior Accessories (cont'd)**

### **7i. Satellite Dishes (not permitted)**

(Item 12 - Original Standard dated March 7, 2015)

Responsibility:	General Common Element
Location:	
Manufacturer	
Materials:	
Style & Description:	
Size:	
Color:	
Misc. Details/Comments:	Satellite Dishes may not be installed.

## **7. Exterior Accessories (cont'd)**

### **7j. Skylights (not permitted)**

(Item 13 - Original Standard dated March 7, 2015)

Responsibility:	General Common Element
Location:	
Manufacturer	
Materials:	
Style & Description:	
Size:	
Color:	
Misc. Details/Comments:	Units 1316, 1348, & 1366 currently have skylights. No other skylights will be permitted. If the existing skylights need replacement, they will be removed, and Roofing will be reinstalled in their location.

## 7. Exterior Accessories (cont'd)

### 7m. Ceiling Fans

(Item 5e - Original Standard dated March 7, 2015)

Responsibility:	Limited Common Element
Location:	Lower Deck (Ceiling Fan)
Manufacturer	NA
Materials:	<b>NA</b>
Style & Description:	The following picture shall serve as a benchmark for acceptable fans. Before any fans are installed, approval of such shall be obtained. Fan units must not include any light fixture.
Size:	52" 5 Blade outdoor fan
Color:	Bronze
Misc. Details/Comments:	Fans are acceptable. All future fans will not be permitted to have lights per the Policies and Procedures standards. All owners are urged to remove lights from existing fans or replace existing fans as soon as possible to comply with this requirement.



Figure 7m  
Ceiling Fan

## 7. Exterior Accessories (cont'd)

### 7t. Awnings

(Item 1 - Original Standard dated March 7, 2015)

Responsibility:	Owner
Location:	Rear Upper Deck
Manufacturer	Sunbrella or equal
Materials:	See Manufacturer and Style & Description information
Style & Description:	Retractable fabric awning w/ 4", 5", 6" or 8" tall scalloped valance, 8" preferred), hood and side covers
Color:	Silica Stone or Cadet Grey w/ black, grey, or maroon Trim. Cream or Grey housing, arms, and hood
Misc. Details/Comments:	Manual or electric are permitted



Figure 7t  
Rear Upper Deck Awning



## 7. Exterior Accessories (cont'd)

### 7u. Porch Screens

Responsibility:	Owner
Location:	Rear Lower Deck
Manufacturer	Genius- Metro Screenworks, Inc.
Materials:	See Manufacturer and Style & Description information
Style & Description:	Olympic- Retractable Screen. Product Model A. GG6701 (Manual Operation with Pull Chain) Product Model B. GG6702 (Motorized Operation). Motorized unit comes with one (1) single channel. Option- Wind-sun sensor. Automatically adjusts the screen according to wind and weather conditions. (Available for Motorized version only).
Color:	Brownstone. Aluminum frame and tracks with 18X16 Charcoal color insect screen fabric
Size:	Front Screen opening (119" x 95 ½ ") APPROXIMATE Side Screen opening (83 ½ " x 95 ½ ") APPROXIMATE
Misc. Details/Comments:	Specify recess installation when ordering. It is the owner's responsibility to get exact measurements before ordering and installing. Screening for door louvers and under deck screening is not included with the retractable screen and will need to be ordered and installed separately if required.



Figure 7u: Rear lower porch screening

**8. Hardscape Elements**  
**8b. Sidewalks/Walkways**  
(Future)

## 10. Additions/Modifications

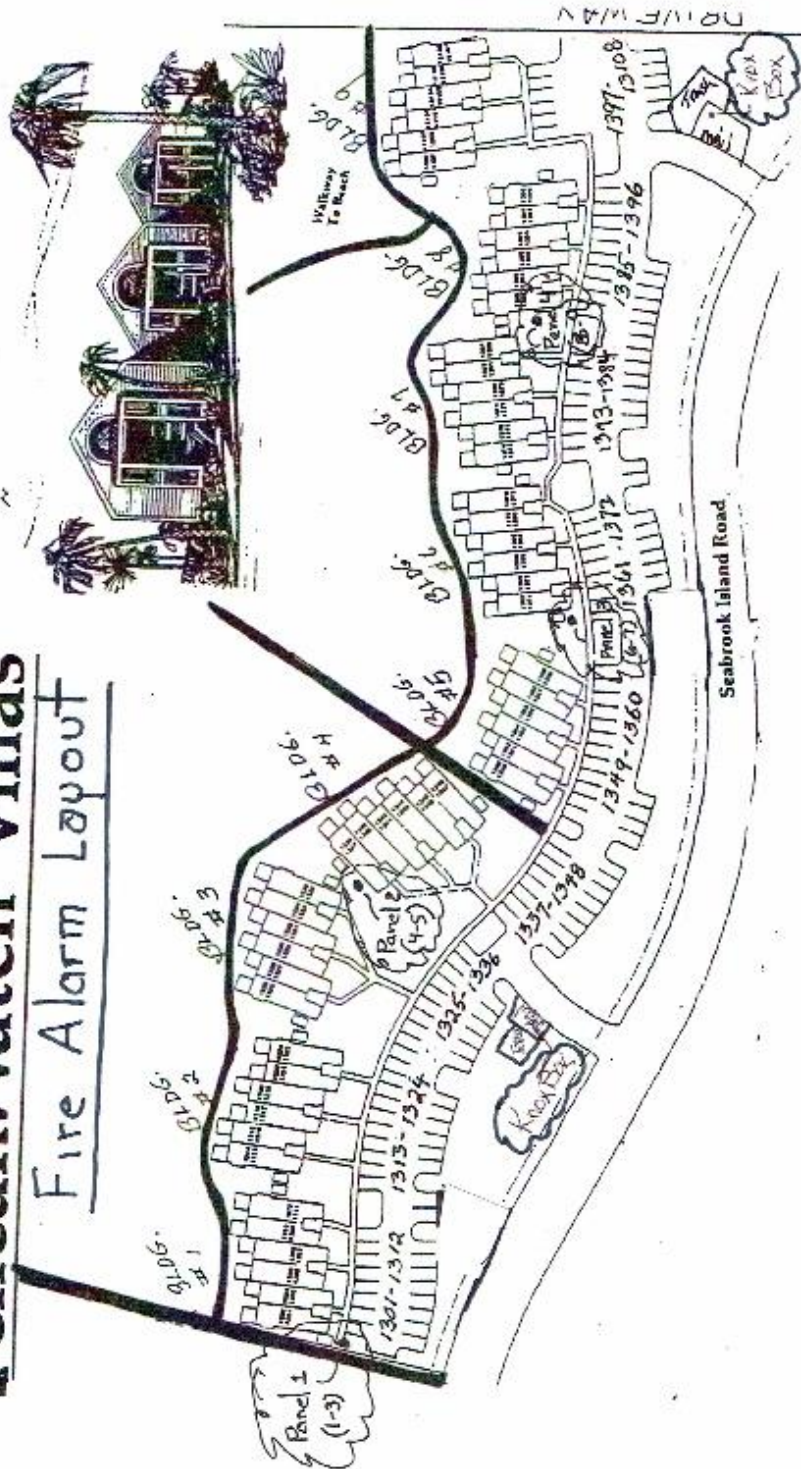
### 10a. Fire Alarm System

(Item 7 - Original Standard dated March 7, 2015)

Responsibility:	General Common Element
Location:	See Layout Plan below
Manufacturer	Tyco
Materials:	
Style & Description:	Centralized Fire Alarm System
Size:	
Color:	
Misc. Details/Comments:	

# PelicanWatch Villas

## Fire Alarm Layout



## Appendix A. History of Changes to this Document

Date of Change	Manual Rev #	Change
January 2019	1	New Issue based on Pelican Watch Villa Standards Original Standard dated March 7, 2015)
2021	2	
2023	3	

## Appendix B. Painting Requirements: Colors and Locations

### B-1. PAINTING REQUIREMENTS, DEFINITIONS, AND EXAMPLES

This Standard provides Pelican Watch Villa Owners Association (PWVOA) requirements for painting Pelican Watch Villas.

Responsibility:	Varied
Location:	
Manufacturer	
Materials:	
Style & Description:	
Size:	
Color:	<u>Woodscapes Exterior Solid Stain by Sherwin &amp; Williams</u> <ul style="list-style-type: none"><li>• <u>Siding Field: SW3041-Cypress Moss</u></li><li>• <u>Trim: SW3037- Shade Tree</u></li><li>• <u>Front Door: SW3001- Shagbark</u></li></ul> <u>Screen Door/Sliding Door/Windows:</u> <ul style="list-style-type: none"><li>• Dark Bronze</li></ul>
Misc. Details/Comments:	