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**RECORDING OF RULES AND REGULATIONS PURSUANT TO THE SOUTH  
CAROLINA HOMEOWNERS ASSOCIATION ACT, S.C. CODE §§ 27-30-110 et. seq.**

**Tracer Cross-reference: Book M116, Page 211**

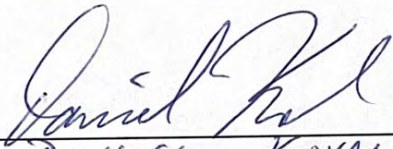
The undersigned President of Spinnaker Beach House Owners Association, Inc., (the "Association") hereby certifies that the attached "Standards for Exterior Repairs & Improvements Updated May 23, 2023" consisting of 50 pages, was duly adopted by the Board of Directors of the Association, and that the same is being recorded in order to comply with the South Carolina Homeowners Association Act, Section 27-30-110, et. seq. S.C. Code of Laws.

**Spinnaker Beach House Owners Association, Inc.**

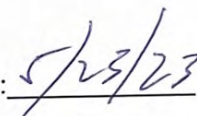
By (sign name):

Print name:

Title:

  
\_\_\_\_\_  
DANIEL KOVAL  
President

Date:



# Spinnaker Beach Houses Owners Association

## Standards for Exterior Repairs & Improvements

**Updated May 23, 2023**



**Spinnaker Beach Houses Owners Association, Inc.**

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# Standards For Exterior Repairs and Modifications

## Introduction

This document, Spinnaker Beach Houses Owners Association, Inc. - Standards for Exterior Repairs and Modifications (hereafter referred to as the "Standards"), contains guidelines for use by SBHOA members for making exterior repairs and modifications to their Spinnaker unit, which are owned fee simple. The specific purpose of the Standards is to ensure a basic quality of construction and consistency of outward appearance in the Spinnaker Beach Houses community.

As of the effective date of publication, these Standards reflect the requirements of the Seabrook Island Property Owners Association ("SIPOA") and its Architectural Review Committee ("ARC"). In general, with the noted exception of a Dormer, an application for repair or upgrade of a Spinnaker unit that is determined to be in accordance with the Standards will not require an architect's plans.

It is expected that additional standards may be set in the future to accommodate the needs of SBHOA members and that this document will be revised and submitted to the ARC for approval as the need arises.

**All exterior repairs and/or modifications require approval before work can commence. In completing an Application for Exterior Repair or Modification, it is important for a property owner or the owner's contractor to specify the exact section of the Standards that is the basis for approval. It is highly recommended that a Scope of Work be included in the Application. This will reduce the time needed to obtain approval.**

## History

The Spinnaker Beach Houses were built between 1977 and the early 1980s. When the Spinnaker Beach Houses were constructed, they were built in groups of three, called a pod. Each pod contains one three bedroom unit, one two bedroom middle unit, and one deluxe two bedroom unit. There are 84 villas in total, with 28 pods and 28 of each style of villa. Due to the vagaries of the extended construction process, individual beach houses may exhibit original exterior architectural inconsistencies. In the ensuing years, additional exterior changes, some sanctioned by the SBHOA Board and the ARC and some not, have introduced further exterior architectural changes and inconsistencies and a certain number of the original design features have proven to be defective or not in compliance with current codes and best practices. Also, because the three styles of villas have such differing features, there are a larger number of options when choosing things like kitchen or bedroom windows. Matching standards has often proved difficult over the years as products, such as windows, are not always offered in the original sizes.

Spinnaker Beach Houses are considered single-family homes. As such, the property owner is responsible for all outside building maintenance within their drip line, including roofs, siding, doors, windows, decks, stairs, railings, pilings and painting.

## Rationale for Standards

A primary function of the SBHOA Board is to protect, as best it can, the property values of the community by establishing standards for maintenance, repair and upgrades of the common property of the Association and of member owned units. To that end, it is the intent of the SBHOA Board to provide, in this document, Standards that will encourage SBHOA members to repair and improve their respective homes in a manner that is consistent with the goals and objectives stated in the introduction to this document. The Board further believes that by offering clear, consistent Standards that have the approval of the ARC, SBHOA members who follow these Standards will be able to repair and upgrade

their property with confidence that they will not be faced with a costly and time-consuming approval process.

### **“From This Point Forward” Policy**

Pre-existing exterior architectural changes made to any Spinnaker Beach House prior to the effective date of these Standards that are not in conflict with the SBHOA Board and/or SIPOA and its ARC, whether sanctioned by the SBHOA Board and/or SIPOA and its ARC or not, shall be deemed acceptable.

“From this point forward,” significant repairs that consist of replacement of thirty percent (30%) or more of an existing exterior design feature of a unit will require a change to comply with the Standard for such feature. However, any exterior architectural changes that are in contention with the SBHOA Board and/or SIPOA and its ARC on such date shall, unless authorized by these Standards or otherwise sanctioned by the SBHOA Board and/or SIPOA and its ARC, not enjoy the benefit of these provisions.

### **Approval Process/Guidelines for Owners and Contractors**

1. Owners must comply with (a) these Standards, (b) the SIPOA Policies and Procedures for Residential Development, (c) the Town of Seabrook Island and Charleston County ordinances and permitting processes, and (d) all applicable State and Federal (e.g. FEMA) regulations.
2. Although a contractor may act on behalf of an owner, the owner must understand the processes and the basics of the various regulations to avoid repercussions should a contractor fail to obtain the necessary approvals and/or permits.
3. Owners should pay particular attention to licensing and permitting requirements for any planned work below the first floor of their Spinnaker unit.
4. The first step in the approval process is to submit a SBHOA Application for Exterior Repair or Modification describing the repair or improvement to the Association Manager.
  - a. If the repair or improvement is covered in the Standards, the appropriate section(s) must be cited.
  - b. A correctly completed application will be reviewed by the Spinnaker Board. If approved, it will be forwarded to the SIPOA ARC for their review and approval.
  - c. If approved by the ARC, it will be filed with the Town of Seabrook Island and referenced when your contractor submits a request for a work permit.
  - d. If an improvement is not covered by the Standards, the Board may reject the request or approve it conditional to an ARC approval. In the latter case, the Association Manager will work with the owner to obtain all necessary documentation to submit the improvement request to the ARC. If the ARC approves the work, the Board may at its discretion incorporate the improvement as a new Standard.
5. Currently there is no SBHOA fee for an application for an exterior repair or improvement. There are SIPOA fees which can be found on the SIPOA website.
6. Following ARC Administrator or ARC approval, the next approval authority for the proposed work is the Town of Seabrook Island. The Town requires a business license for contractors that perform repairs or improvements. This allows the Town to verify that the contractor has the appropriate credentials, insurance, and, if applicable, workmen’s compensation insurance. The owner or the contractor must also obtain a Town and, if required, a Charleston County permit for each job. The Town and County fees and application procedures can be found on their websites.
7. There are no SBHOA or ARC approvals required for interior work. However, the Town and County may require permits or licenses for interior work, such as plumbing and electrical that is outside the scope of this document, whether the owner hires a contractor or does the work himself/herself.
8. Once a permit is issued by the Town of Seabrook Island, work must be done in a timely manner. Permits are normally good for 6 months.
9. Contractors must abide by Town of Seabrook Island and Seabrook Island Property Owners Association guidelines in terms of working hours, parking restrictions, permitting, etc.

10. Spinnaker Beach House Property owners who engage in repairs or renovations without receiving the proper approvals and/or permits from the Spinnaker Beach House Association, the Architectural Review Committee, the Town of Seabrook Island and/or Charleston County are subject to fines and stop orders on work. Property owners are also subject to fines if they receive approval to do a particular job, but then deviate from what has been approved.

11. If you need further information, consult (1) the SBHOA property manager at 843-768-9480 ext. 3912 or by email to [cleyh@ravenelassociates.com](mailto:cleyh@ravenelassociates.com), (2) the SIPOA ARC Administrator at (843) 768-1560 or by e-mail at [arc@sipoa.org](mailto:arc@sipoa.org), (3) the Town of Seabrook Island Administrator at (843) 768-9121 or (4) Charleston County Building Services at (843) 202-6940 or by e-mail at [buildingservices@charlestoncounty.org](mailto:buildingservices@charlestoncounty.org).

## **Process for Modification of These Standards**

Updating these Standards is an ongoing process. Beyond the changes in construction methods or materials mentioned previously, change might be the result of a property owner's request for an exterior modification that is not currently covered by the Spinnaker Beach House Association's standards. Modification requests that successfully transit the Approval Process will be added to this document so that they are available for future use by all Spinnaker Beach House property owners and their contractors. Each Standard within this document is marked with its date of approval, if known. Some features are original and have never been changed or altered. For some items, we didn't know when they were first approved, so have indicated the date for the most recent approval issued by the ARC.

## **Conclusion**

Any questions about Spinnaker Standards, the approval process for exterior work, and applications should be sent to Spinnaker Association manager Cameron Leyh of Ravenel Associates. She can be reached at 843-768-9480 ext. 3912 or by email to [cleyh@ravenelassociates.com](mailto:cleyh@ravenelassociates.com).

## 1. Building Enclosure Elements

### 1a. Roofing (including Vent Stacks and Chimney Flue Caps)

(unknown)

Responsibility:	Property Owner
Location:	Roof
Manufacturer:	CertainTeed
Materials:	Shingles
Style & Description:	30-year architectural shingle
Size:	
Color:	Heather Blend
Misc. Details/Comments:	<p>The correct shingle is a 30-year architectural shingle in <b>CertainTeed Heather Blend</b>. Patching is only permitted under the following conditions:</p> <ol style="list-style-type: none"> <li>1. Replacement shingles are an exact match to the color and relative condition of existing shingles, and</li> <li>2. Approval by the SIPOA ARC</li> </ol>

### 1b. Siding

(unknown)

Responsibility:	Property Owner
Location:	
Manufacturer:	Various
Materials:	Wood siding or Fiber Cement Cedarmill Lap Siding or equivalent
Style & Description:	<p>WOOD--Cedar, Channel Rustic. Installation is done with the back side out to attain the proper look. (The original siding was a 1 x 8' Cedar Shiplap with a 1" reveal, which is no longer approved.)</p> <p>FIBER CEMENT—3/8 thickness flat with an overlap but no reveal may be used.</p>
Size:	1 x 8
Color:	All siding must be painted with Sherwin Williams Wool Skein Paint
Misc. Details/Comments:	<p>If a property owner wishes to convert from wood siding to fiber cement siding, they can either do their entire villa at one time or they may do partial fiber cement with the entire job required to be done within 5 years. One entire side must be done at a time; no partial side elevations are permitted. Details on the legally binding Agreement that must be signed for this are available from our property manager. The SBHOA Board encourages all owners to convert the siding on their units to an approved fiber cement product. Fiber cement is much more durable than traditional wood siding and is resistant to moisture, warping, rot, mold and infestation. It does not burn when subjected to open flame. It also does not have to be painted as often as wood siding.</p> <p>When siding a newly enclosed porch or when replacing existing siding on a villa, the new siding must be properly lapped and fitted in with existing siding. A vertical seam running from lap to lap or installation of trim to avoid proper lapping is expressly prohibited.</p>



	Owners may not install any décor on their neighbor’s siding. The Board reserves the right to request that any décor, signage etc. be removed from a villa in their sole discretion.
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### 1c. Trim

(original)

Responsibility:	Property Owner
Location:	
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	Sherwin Williams Wool Skein
Misc. Details/Comments:	All trim is painted the same color as the villa, Sherwin Williams Wool Skein. Trim may be painted Satin finish, as opposed to flat. Profile sizes must match existing design. Wood Trim can be replaced with Hardie-Trim or equivalent fiber cement material. Mixing of materials is not permitted. Units that are Hardie-sided may continue to use wood trim.

### 1d. Foundation Elements / Lattice

#### 1d-1. Support Posts/Columns

(pilings original, encapsulation 2019)

Responsibility:	Property Owner
Location:	Underneath villa
Manufacturer:	
Materials:	Wood
Style & Description:	
Size:	
Color:	
Misc. Details/Comments:	Pilings are a very important component in the support of Spinnaker Villas. Over time, pilings may rot below ground level. If damage continues, the rot may extend above ground level. Pilings with rot at or below ground level may be repaired using an “encapsulation repair” system. This piling repair process includes removing all deteriorated material on the piling to sound wood, using rebar reinforcement, installing a fiberglass jacket around the piling and rebar, and then filling the space between the jacket and the piling with a Marine Epoxy Grout. Pilings that are rotting above ground level will have to be replaced. Pictured below are two types of encapsulation repair, Figures 1 and 2.



Figure 1  
Piling encapsulation repair



Figure 2  
Piling encapsulation repair, another option

## 1d-2. Flood Vents

(2014)

Responsibility:	Property Owner
Location:	Underneath villa
Manufacturer:	See below
Materials:	
Style & Description:	
Size:	
Color:	See below
Misc. Details/Comments:	Every Spinnaker unit, when built in 1978-1980s, had two ground level storage units at the back of the carport. These storage areas did not have flood vents. Some owners have installed approved additional storage under their units. In recent years Federal Flood Insurance regulations have changed and most owners have found it necessary to install flood vents in their storage areas to meet flood insurance requirements. Requests for flood vents will be honored based on an owner's insurance requirements. Other types of flood vents than the below require pre-approval by SBHOA. Laws change. Please consult with your insurance provider regarding the latest flood insurance requirements.

SmartVent 1540 FEMA compliant, engineered flood vent measures 16" x 8" and is considered the highest quality available. This vent in WHEAT powder coat finish is pre-approved.



Figure 3: SmartVent 1540

Flood Solutions model 1608-F FEMA compliant, engineered flood vent also measures 16" by 8" and is considered to be a mid-level quality. This vent is pre-approved in LIGHT TAN or NO FINISH. The NO FINISH vent must then be painted Sherwin Williams Wool Skein (SW6148) to match siding.



Figure 4: Flood Solutions Vent

### 1d-3. Privacy Lattice

(original detail)

Responsibility:	Property Owner
Location:	Underneath villa
Manufacturer:	
Materials:	Treated Wood
Style & Description:	Diamond-shaped
Size:	2-33/40 inch grid opening
Color:	Sherwin Williams Wool Skein
Misc. Details/Comments:	Privacy Lattice may be installed underneath the unit in accordance with the following specifications: Treated Wood Painted Sherwin Williams Wool Skein Diamond-shaped 2-33/40 inch grid opening Height - extend from ground to ceiling leaving at minimum a 4" clearance at the bottom to prevent wood rot Width - varies based on enclosure size



Figure 5: Privacy Lattice

## 2. Doors

### 2a. Entrance Door

(unknown)

Responsibility:	Property Owner
Location:	
Manufacturer:	Various
Materials:	Various
Style & Description:	
Size:	
Color:	Sherwin Williams Wool Skein or Urban Jungle
Misc. Details/Comments:	Three styles of doors are approved for Spinnaker units. The original, solid doors, will no longer be permitted. The color of the door must be either Sherwin Williams Wool Skein or Urban Jungle.



Figure 6  
Solid 6 Panel Door



Figure 7  
4 Panel Door with Window



Figure 8  
Solid Glass Exterior Door

### 2b. Storm Doors

(unknown)

Responsibility:	Property Owner
Location:	
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	White
Misc. Details/Comments:	SBHOA owners may install an outer storm door. It must be a "full view" door. It can be solid glass, or have the option of a removable glass panel to be replaced by a full screen to allow for air flow.



Figure 9  
Storm Door

## 2c. Exterior Sliding Glass Doors, Lower Deck and Upper Deck

(Original details)

Responsibility:	Property Owner
Location:	Lower Deck and Upper Deck
Manufacturer:	Various
Materials:	
Style & Description:	
Size:	
Color:	The door trim must be Sherwin Williams Wool Skein or match the approved trim color that appears on the unit's other exterior glass doors and windows.
Misc. Details/Comments:	<p>A single type of exterior sliding door was incorporated into the architectural design of the Spinnaker Beach Houses at the time of their construction. No changes to the type of exterior sliding door are authorized except for good cause shown by application to and acceptance by the SBHOA Board and the ARC or as reflected in the new standard, below. Because a replacement exterior sliding door may not be of the exact dimensions as the original, a size deviation of up to 3/4" and finished with appropriate trim, will be approved. The door trim must be "best match" to the unit paint color or match the approved trim color that appears on the unit's other exterior glass doors and windows.</p> <p>The lower exterior sliding door must be a two-panel door as reflected in Figure 10.</p> <p>The upper exterior sliding door must be a three-panel door (outside panes are stationary) as reflected in Figure 11. An acceptable alternative to the owner is to use the same two-panel door style shown in Figure 10. It should be noted that once an exterior sliding door is incorporated into an enclosed porch, it loses its character as an exterior door and is considered to be incorporated into the interior of the beach house. As such, it will no longer be subject to the jurisdiction of the SBHOA Board and the ARC.</p>



Figure 10  
Lower Level Sliding Door



Figure 11  
Upper Level Sliding Door

### 3. Windows

#### 3a. Kitchen Windows

(some original, other various dates)

Responsibility:	Property Owner
Location:	Kitchen
Manufacturer:	Various
Materials:	
Style & Description:	Windows must be casement or picture (non-opening)
Size:	See below
Color:	The window trim must be Sherwin Williams Wool Skein or match the approved trim color that appears on the unit's other exterior glass doors and windows
Misc. Details/Comments:	<p>There are various types of kitchen windows, depending on the type of Spinnaker villa that you own.</p> <p>Dimensions for Figure 12: Original Window 36" by 36"</p> <p>Dimensions for Figure 13: Original 2 casement windows, 17" w by 60" h</p> <p>Dimensions for Figure 14: Original 72" by 72"</p> <p>Dimensions for Figure 15: 48" W by 36" H (2008)</p> <p>Greenhouse-type kitchen windows are NO LONGER allowed in any Spinnaker unit.</p> <p>All window and door coverings (curtains, shutters, blinds, etc.) must have a white backing that faces outward.</p>



Figure 12  
2 Bedroom Deluxe  
Kitchen Window  
Original Window



Figure 13  
2 Bedroom Middle  
Kitchen Window  
Original Window



Figure 14  
3 Bedroom  
Kitchen Window  
Original Window



Figure 15  
3 Bedroom, 2  
Bedroom Deluxe  
New standard for  
kitchen window

### 3b. Bedroom Windows

(some original)

Responsibility:	Property Owner
Location:	Bedrooms
Manufacturer:	Various
Materials:	
Style & Description:	Windows must be casement or picture (non-opening)
Size:	See below
Color:	The window trim must be Sherwin Williams Wool Skein or match the approved trim color that appears on the unit's other exterior glass doors and windows.
Misc. Details/Comments:	<p>There are various bedroom window options depending upon the type of unit and if the owner prefers the window to open. The pictures represented in Figures 16 – 18 are considered standard bedroom window options.</p> <p>Dimensions Figure 16: Original window 4' by 5'</p> <p>Dimensions Figure 17: 1 casement 35" w by 73" h</p> <p>Dimensions Figure 18: Original, middle window doesn't open. 17" w by 60-1/2" h</p> <p>Dimensions Figure 19: 2' by 4' casement window</p> <p>Dimensions Figure 20: 29" w by 47" h</p> <p>Figure 19 can also be installed to add more light to bedroom with skylights, 3 bedroom units (2017)</p> <p>Figure 20: casements 29" by 47" (2018)</p>



Figure 16  
2 Bedroom Middle, 2 Bedroom Deluxe  
Original window, guest room



Figure 17  
2 Bedroom Middle, 2 Bedroom Deluxe  
Guest room casement window

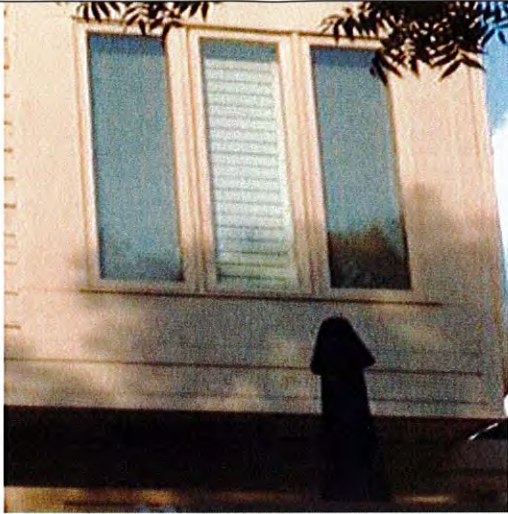
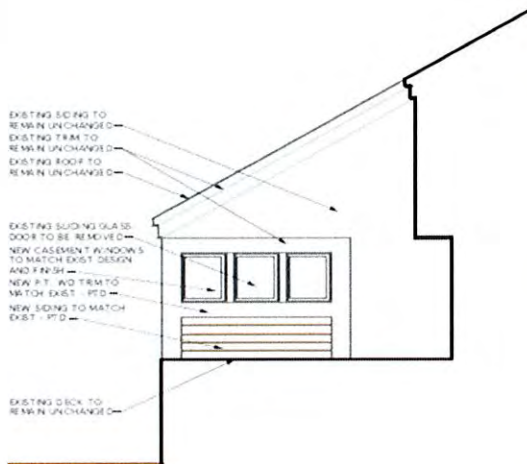


Figure 18  
2 Bedroom Middle unit  
Original window, master bedroom



Figure 19  
Window to replace skylights or add more light, 3  
Bedroom



2 PARTIAL SIDE ELEVATION

Figure 20-a  
2 Bedroom Middle, guest bedroom  
These windows replace the guest bedroom slider



Figure 20-b  
2 Bedroom Middle, guest bedroom



### 3c. Great Room Windows

(original details)

Responsibility:	Property Owner
Location:	Great Room
Manufacturer:	Various
Materials:	
Style & Description:	
Size:	
Color:	The window trim must Sherwin Williams Wool Skein or match the approved trim color that appears on the unit's other exterior glass doors and windows.
Misc. Details/Comments:	There are various great room window options depending upon the type of unit and if the owner prefers the window to open. The pictures represented in Figures 21-23 are considered standard, great room window options. Window treatments including curtains, blinds and shutters must be white where they face outward.



Figure 21  
2 Bedroom Deluxe



Figure 22  
2 Bedroom Middle



Figure 23  
3 Bedroom

## 4. Porches, Decks, and Stairs

### 4a. Lower Level Porches and Enclosures

(2018)

Responsibility:	Property Owner
Location:	Lower Level
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	
Misc. Details/Comments:	<p>Porches meeting the design and materials depicted in the following illustrations and photographs for an enclosed porch are approved for the lower level of Spinnaker Beach House 2 bedroom deluxe and 3 bedroom units as an acceptable replacement for the original open porch design. Architect's drawings are NOT required.</p> <p>When siding a newly enclosed porch or when replacing existing siding on a villa, the new siding must be properly lapped and fitted in with existing siding. <b>A vertical seam running from lap to lap or installation of trim to avoid proper lapping is expressly prohibited. See Figure 26.</b></p>



Figure 24  
Lower Level Porch Enclosure



Figure 25  
Lower Level Porch Enclosure



Figure 26  
**NOT ALLOWED: see Details/Comments**

4b.

1. Decks/Upper Level

(original or 2019)

Responsibility:	Property Owner
Location:	Upper Level Decks
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	
Misc. Details/Comments:	The design of the upper level decks has proven, over time, to be defective, permitting water damage that threatens the structural integrity of the entire unit. The deck may be repaired to the original design (Figure 29) or modified as shown in Figure 30, below. In addition, the deck's usable area can be enlarged by making the approved modification. Decks meeting the design and materials depicted in the following example are approved for the upper level of any Spinnaker Beach House. Three (3) rows of shingles below the railing, as depicted in Figure 28 Drawing 2 and the picture in Figure 30, are required, unless a gutter is installed directly below the deck, and then the shingles may be eliminated. Architect's plans are NOT required for this upgrade.

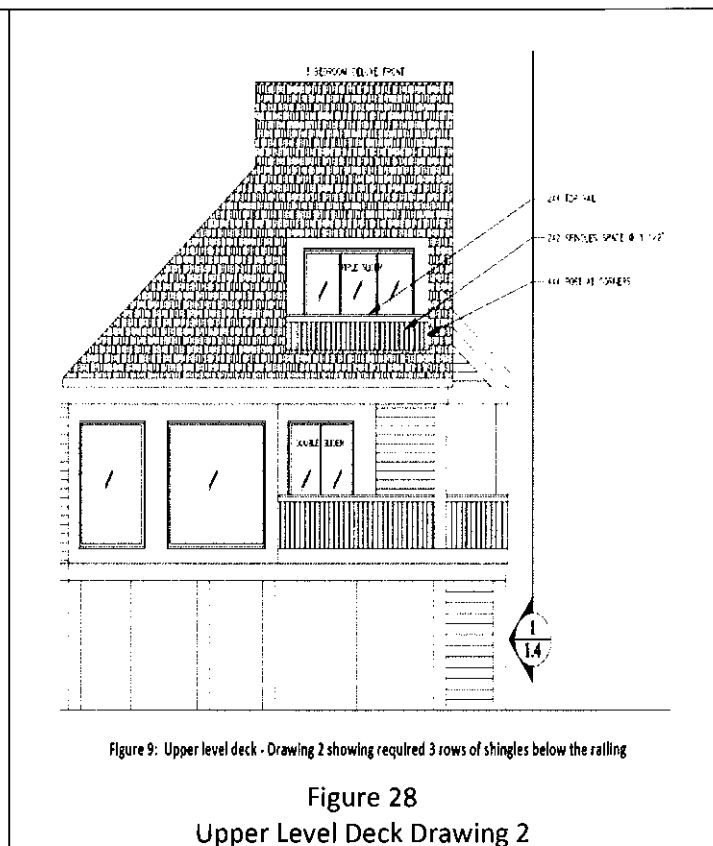
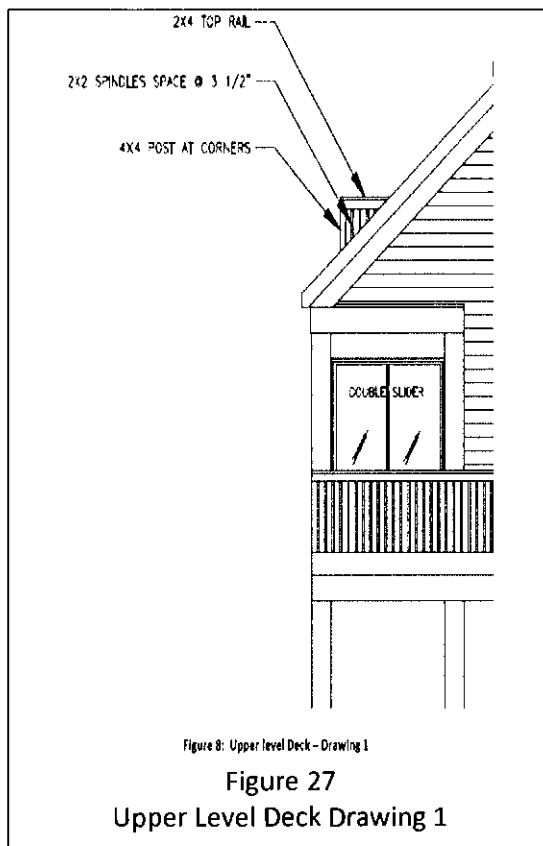




Figure 29  
Original upper deck design



Figure 30  
Upper level deck with railing

**4b.**

**2. Decks, Rails and Deck Guards**

(2018)

Responsibility:	Property Owner
Location:	Decks, Rails and Deck Guards
Manufacturer:	
Materials:	See below
Style & Description:	See below
Size:	See below
Color:	Sherwin Williams Wool Skein
Misc. Details/Comments:	<p>The original railings used on Spinnaker decks and stairs do not conform to current Charleston County building code. <u>As with stairs, Spinnaker owners are now required to bring Rails and Deck Guards up to Charleston County and Spinnaker Standards by December 31, 2023.</u></p> <p>Rail: 2 x 4" with a minimum height of 36" above nosing.            Base: 1 x 4" vertical trim on both sides            Balusters: 2 x 2 and space at 4" from balusters and posts.            Baluster Attachments: On lower rail: 1 x 4" on both sides. On upper rail: 2 x 6" hidden with the 1 x 4" vertical trim.            Posts: "4 x 4" or less from balusters. Post to be at each end of rail and spaced appropriately to allow for stability. <u>Post should be anchored to deck and not to adjoining villa.</u> See Figure 32. Except for middle post on stair railings, which is covered by stair railing, posts should protrude no more than 2" above railing to be covered as indicated in Figure 31A or can be attached to columns in Figure 31B.            Cap: 2x4 with minimum height of 36" and 1x4 vertical trim underneath on both sides. No metal/copper caps permitted.</p> <p>Deck and stair treads can be replaced by 2 x 6" treated-wood, ARC approved composite decking or similar materials. Mixing of materials is not permitted.</p>



Figure 32



Figure 31A



Figure 31B

#### 4c. Stairs

(2018 for stairs, 2015 gate)

Responsibility:	Property Owner
Location:	From ground level
Manufacturer:	
Materials:	
Style & Description:	See below
Size:	See below
Color:	Stair risers must be painted in the approved color for siding and trim, or left natural but treated (i.e. clear). No contrasting colors are permitted.
Misc. Details/Comments:	<p>The original, riser-less type of exterior stairs incorporated into the architectural design of the Spinnaker Beach Houses at the time of their construction have not met Charleston County Building Code requirements for over 12 years, posing a serious safety hazard. Furthermore, they are obviously dated, adversely affecting appearance. Original deck guards and railings also no longer meet County Codes. Accordingly, repair or like-kind replacement of the original stair treads and railings and deck guards is no longer allowed, effective December 11, 2018. All original stairs, railings and deck guards must be brought up to current Charleston County Building Code requirements and Spinnaker Standards by <u>December 31, 2023</u>. The stairs must be replaced with an exterior stair with riser and open ends under the railings to allow for lateral water and debris runoff. If repairs or replacements are made to original stairs, railings and deck guards after publication of this policy, the owner will be required to bring all original stairs, railings and deck guards up to current Charleston County Building Code requirements and Spinnaker Standards immediately.</p> <p>Stair treads are to be made with double 2 x 6" boards with risers with a 1" nosing. Stair treads can be treated-wood, ARC approved composite decking or similar materials. Mixing of materials is not permitted. The risers are to be placed behind the tread, making the tread approximately 12" deep. Stringers should be 2 x 12". The handrail, now required by Charleston County, must be painted in the approved color for siding, but may be on either side of the stairwell, provided they are not on the same side as stair lights, if these are desired.</p>

Owners may choose to install a gate at the top of exterior stairs meeting the design detail, materials, and color as specified for Rails. Steps and rails must conform to all SIPOA and Charleston County building codes.



Figure 33  
Original Stairs (no longer allowed)



Figure 34  
Required Stairs and Handrail (new style)



Figure 35  
Approved gate at top of stairs

## 5. Lighting

### Important note regarding lighting replacement:

The current standards do not meet the new “Dark-Sky” requirements as stated by the Seabrook Island Property Owners Association and the ARC. When new lights are necessary, they will be chosen to meet the Dark-Sky requirement.

### 5a. Entrance Door Lighting

(unknown)

Responsibility:	Spinnaker Beach Houses Owners Association
Location:	Entrance door and/or porch
Manufacturer	
Materials:	
Style & Description:	
Size:	
Color:	Black
Misc. Details/Comments:	Mandatory exterior lighting consists of a porch light and a carport light. Unit owners are required to maintain these fixtures in working order. 2 bedroom middle units and 2 bedroom deluxe units have one light beside entrance door. Three bedroom units have two lights: one beside entrance door, and one next to sliding door on deck (parking lot side). The porch light must match the same style fixture used by all Spinnaker units and cannot be changed out without prior SBHOA approval.



Figure 36  
Exterior Doorway Light

## 5b. Carport Light

(original)

Responsibility:	Property Owner
Location:	Carport
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	Black
Misc. Details/Comments:	Mandatory exterior lighting consists of a porch light and a carport light. Unit owners are required to maintain these fixtures in working order. Over the years, owners have replaced these lights, and particularly the original carport fixture, with many variants. Any carport light fixture replacement from this point forward will require a submission to the SBHOA Association Manager that includes a picture of the proposed fixture. See below Figures 37 a and b for two approved options.



Figure 37a  
Original carport Light

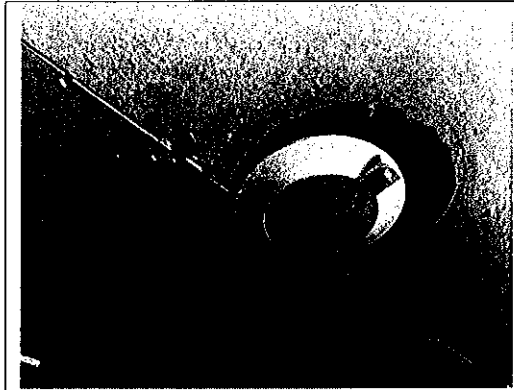


Figure 37b  
Carport light approved in 2022

### 5c. Stairway Lighting

(2016)

Responsibility:	Property Owner
Location:	Exterior stairways
Manufacturer	Hampton Bay
Materials:	
Style & Description:	Low Voltage Outdoor LED Surface Mount Light; Home Depot Model # IYR2601L-2
Size:	
Color:	Black
Misc. Details/Comments:	<p>SBHOA members may install additional lighting for their stairways. Lights must be the Hampton Bay Low Voltage black light, model shown below. Three lights will adequately light up outdoor stairways, and they should be placed on the same side of the stairs.</p> <p>The maintenance and power expense of the optional security and safety lighting is the responsibility of the property owner. Approval for these lights must be made by the SBHOA and the SIPOA ARC.</p>





Figure 38  
Three lights on stairway



Figure 39  
Hampton Bay Low Voltage Black  
Outdoor LED Surface Mount Light;  
Home Depot Model # IYR2601L-2

## 5d. Post Lighting

(unknown)

Responsibility:	Spinnaker Beach Houses Owners Association
Location:	Bottom of each outside stairway and common areas
Manufacturer:	Wave Lighting
Materials:	
Style & Description:	S21S Wall Coach and S21T Coach Post Lantern
Size:	
Color:	Black
Misc. Details/Comments:	Management has a few of these lights at their office



Figure 40  
Post Light

## 6. Signage

### 6a. House Number Plaque

(unknown)

Responsibility:	Spinnaker Beach Houses Owners Association
Location:	Attached to trim above the carport
Manufacturer:	Unknown
Materials:	
Style & Description:	
Size:	
Color:	
Misc. Details/Comments:	House number plaques were installed at SBHOA expense. In the event that a house number plaque must be replaced, it must conform to the Standard. Number plaques will be of ceramic material and enclosed in a wooden frame. Numbers will be three inches high, dark colored and on a light background. <b>The Association can no longer obtain replacements of these house number plaques. Any contractor doing work must remove them if necessary, but then replace them when finished.</b>



Figure 41  
House Number Plaque

## 7. Exterior Accessories

### 7a. Propane Tanks

(2017)

Responsibility:	Property Owner
Location:	Under exterior stairs or deck
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	
Misc. Details/Comments:	Above ground propane tanks shall be located under the stairs or deck and screened from view with privacy lattice painted in the approved color for unit siding. Installation of propane tanks must meet all Charleston County building standards.



Figure 42  
Propane Gas Tank

### 7b. HVAC Stands

(unknown)

Responsibility:	Property Owner
Location:	Attached to villa siding
Manufacturer:	
Materials:	See below
Style & Description:	
Size:	See below
Color:	SW Wool Skein
Misc. Details/Comments:	All heating, ventilating and air conditioning (HVAC) condenser doors will, upon replacement or repairs, be upgraded to the design depicted below. The door is constructed with 1" treated lumber, with a galvanized latch and two galvanized hinges. The latch and hinges will be painted to match the color of the surrounding structure. An additional air vent as pictured in the example below is approved, but not required. Enclosure sides need to be 48" by 48" (4x4 foot square) and the louvers are 1x4. Lattice side vents are no longer allowed. *HVAC Expansion option is noted in Appendix.

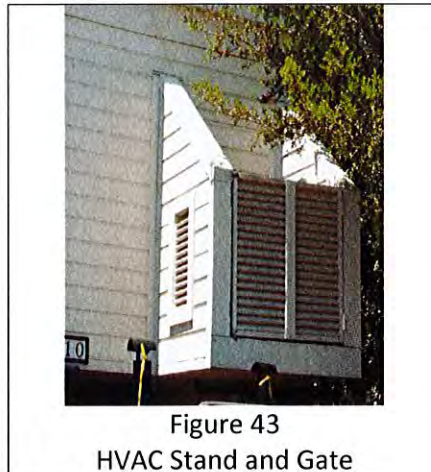


Figure 43  
HVAC Stand and Gate

### 7c. Trash Enclosure

(original detail)

Responsibility:	Property Owner
Location:	Ground level carport
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	SW Wool Skein
Misc. Details/Comments:	Trash enclosures are built underneath all Spinnaker Beach Houses. They have a door with a hasp lock. They are generally big enough to fit 3-4 trash cans and/or recycle buckets.

### 7d. Storage Enclosure Expansion

(2017)

Responsibility:	Property Owner
Location:	Ground level carport
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	SW Wool Skein
Misc. Details/Comments:	The design of the ground level storage area has proven, over time, to be inadequate to property owner's storage needs. To address this concern, the alternative of expanding ground level storage is offered. Storage meeting the design detail and materials depicted in Figure 44 is approved for the ground level of any Spinnaker Beach House. Architect's drawings are NOT required.

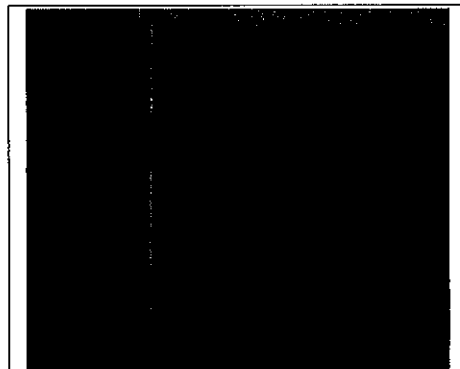


Figure 44  
Storage Expansion

## 7e. Exterior Shower Enclosure

(unknown)

Responsibility:	Property Owner
Location:	Interior footprint of the Spinnaker villa
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	Sherwin Williams Wool Skein
Misc. Details/Comments:	An outdoor shower is permitted and should be located in the interior footprint of the Spinnaker unit and screened from view with privacy lattice or solid lumber painted in the approved color for unit siding.

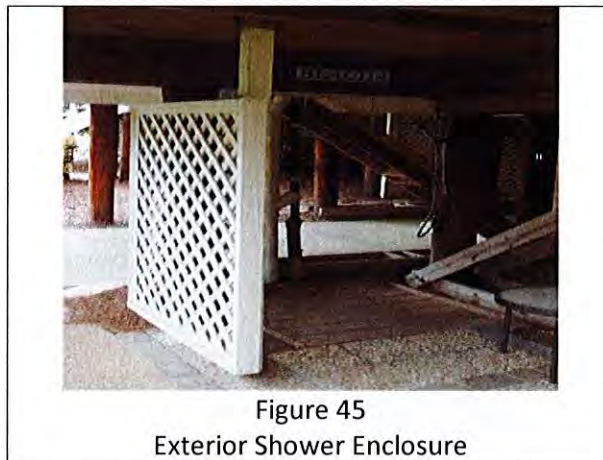


Figure 45  
Exterior Shower Enclosure

## 7f. Elevator

(January 2019)

Responsibility:	Property Owner
Location:	
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	
Misc. Details/Comments:	At present, the only type of elevators that will meet Spinnaker and ARC standards are ones that are built into a closet under the unit and rise to a closet in the first floor. This works best with 3 bedroom units.

## 7g. Skylights

(original details)

Responsibility:	Property Owner
Location:	Roof
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	
Misc.	Two skylights were a standard feature on all 3 bedroom units for one

Details/Comments:	upper guest bedroom. Over time, these skylights have not weathered well and seals have broken and they have leaked. If property owners want to replace skylights, they must do so with a skylight of a comparable size. If they wish to remove the skylights and roof over the openings, they must then install an egress window on the side of their unit (see Figure 19). Some owners have also done away with the skylights by installing a bump-out/dormer (see Figure 65). Whatever choice is made, NO ROOF PATCHING is allowed.
-------------------	---



Figure 46  
Skylights, 3 bedroom

**7h. Mailboxes**

(Updated 2023)

Responsibility:	Spinnaker Beach Houses Owners Association
Location:	At driveway entrances
Manufacturer:	Gibraltar
Materials:	
Style & Description:	
Size:	15”H x 11.5”W x 25”L
Color:	Black
Misc. Details/Comments:	Provided by the SBHOA. Property manager should be notified if mailbox is in disrepair, the red flag breaks off or it needs replacing.

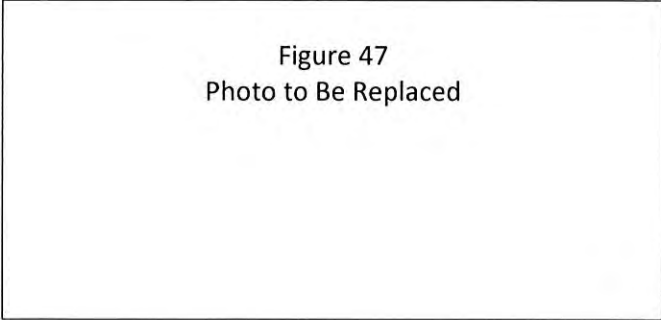


Figure 47  
Photo to Be Replaced

## 7i. Gutters/Downspouts

(unknown)

Responsibility:	Property Owner
Location:	
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	Sherwin Williams Wool Skein
Misc. Details/Comments:	Gutters and downspouts are optional. When installed, they must match the color of the surface to which they are attached. Diverters, and not gutters, are to be used over the sliders on the upper decks.

## 7j. Gable Vents

(original)

Responsibility:	Property Owner
Location:	
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	Sherwin Williams Wool Skein
Misc. Details/Comments:	Each Spinnaker has one or more gables depending upon the original design of the unit and if the owner has an approved dormer(s). There are two styles of vents available as shown in Figures 48 and 49. Gable vents must be painted the same color as the unit.



Figure 48  
Gable, vented



Figure 49  
Gable, solid

## 7k. Chimneys

(original and 2017)

Responsibility	Property Owner
Location:	Roof
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	Sherwin Williams Wool Skein
Misc. Details/Comments:	Fireplaces were a feature in some Spinnaker units when they were built. Several still have a fireplace and an original chimney. New chimneys must meet all ARC and Charleston County Building Codes.

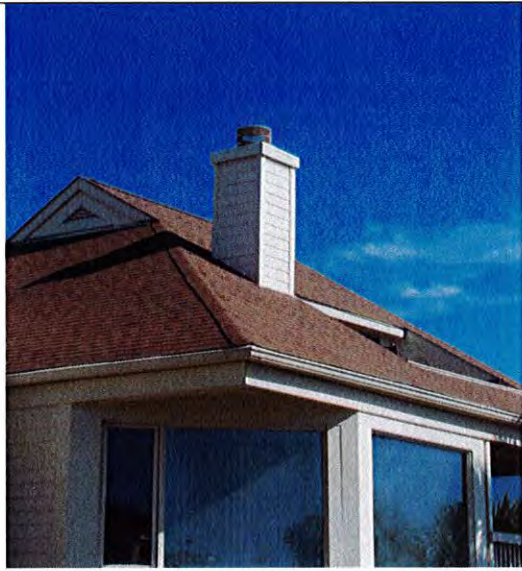


Figure 50  
Original chimney

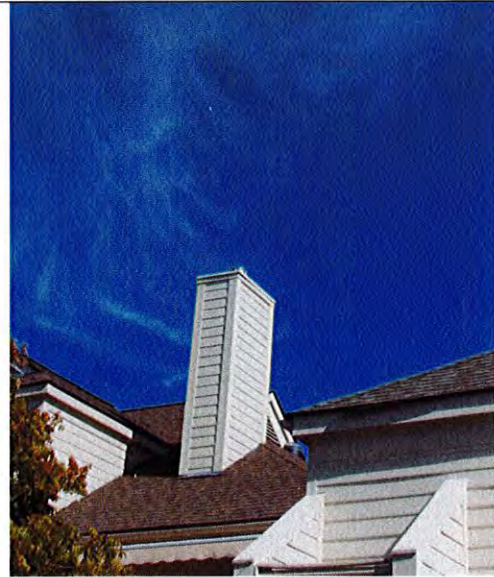


Figure 51  
Double-flued chimney

## 7l. Awnings

(2018)

Responsibility:	Property Owner
Location:	Parking lot side for 2 bedroom middle units and 3 bedroom units
Manufacturer:	Various
Materials:	
Style & Description:	Solid or striped pattern
Size:	Must be a full deck awning
Color:	The awning is to be a solid or striped pattern. Colors permitted include sand, rust, or fern color. These colors are Sunbrella fabrics carried by most awning companies.
Misc. Details/Comments:	Awnings meeting the design and materials depicted in Figure 51 and Figure 52 are approved for the downstairs decks of Spinnaker Beach House units (except for Deluxe Two Bedroom Units) whose downstairs deck FACES THE INTERIOR of the Spinnaker complex. Awnings must be fully retractable and cover the entire deck. The awning must not be left extended for prolonged periods of time.





Figure 52  
Awning Example



Figure 53  
Awning Example

## 7m. Light Tubes

(unknown)

Responsibility:	Property Owner
Location:	Roof
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	
Misc. Details/Comments:	Light tubes are installed on roofs and allow natural light into rooms that have no light source. They are considered optical waveguides. In Spinnaker Villas, they are especially helpful in improving light in windowless bathrooms and hallways.



Figure 54  
Light Tube

## 8. Hardscape Elements

### 8a. Sidewalks/Walkways

(most original, some unknown)

Walkways have important safety and aesthetic considerations for Spinnaker units. Walkways may be made of concrete, treated lumber, pavers or asphalt. Following are examples of approved walkways. No deviations from the approved design(s) will be permitted without approval of the Spinnaker Board and the SIPOA ARC.

Responsibility:	Property Owner
Location:	2 bedroom middle
Manufacturer:	
Materials:	Concrete, treated lumber, pavers or asphalt. <b>Gravel is not permitted to be installed outside the "drip line" of the villa.</b>
Style & Description:	
Size:	Approximately 36-94 inches
Color:	
Misc. Details/Comments:	Installation and maintenance of walkways and steps is up to each individual property owner. Liability for accidents on walkways and steps is also the responsibility of the property owner.



Figure 55  
Walkway Example 1



Figure 56  
Walkway Example 2



Figure 57  
Walkway Example 3

Responsibility:	Property Owner
Location:	2 bedroom deluxe designs
Manufacturer:	
Materials:	Concrete, treated lumber, or asphalt
Style & Description:	
Size:	Approximately 252 x 42 inches
Color:	
Misc. Details/Comments:	Installation and maintenance of walkways and steps is up to each individual property owner. Liability for accidents on walkways and steps is also the responsibility of the property owner.



Figure 58  
Walkway Example 4

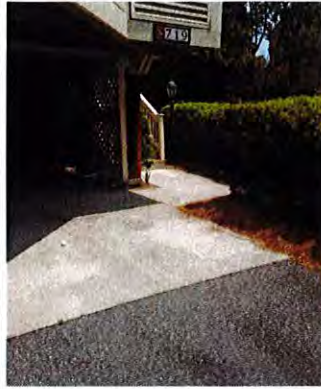


Figure 59

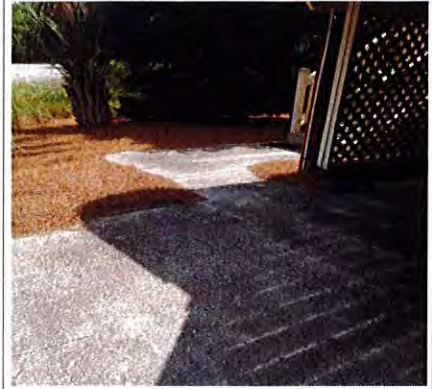


Figure 60  
Three Bedroom Walkway with  
Turn

Responsibility:	Property Owner
Location:	3 Bedroom Walkway with Turn
Manufacturer:	
Materials:	Concrete, treated lumber, or asphalt
Style & Description:	
Size:	Size approximately 96 x 48 x 4 inches; turn back to carport is 72 x 42 inches
Color:	
Misc. Details/Comments:	Installation and maintenance of walkways and steps is up to each individual property owner. Liability for accidents on walkways and steps is also the responsibility of the property owner.

## 8b. Additional Driveway

(2019)

Responsibility:	Installation: Property Owner, Maintenance: Spinnaker HOA
Location:	Under villa, 3 bedroom units
Manufacturer:	
Materials:	Asphalt
Style & Description:	
Size:	
Color:	
Misc. Details/Comments:	Only a 3 bedroom unit has the option of adding a second driveway under their villa. The property owner is responsible for removing all landscaping. If a tree(s) needs to be removed, the Spinnaker Association and the ARC require that tree(s) be planted somewhere on Spinnaker property (as determined by the Spinnaker HOA). The driveway must be asphalt outside the dripline, and concrete inside. It is up to the property owner to pay for all paving that needs to be done. After the project is completed, the black-top part of the drive will fall under the maintenance of the Spinnaker HOA. A site plan will have to be submitted for this project to be approved by the ARC.



Figure 61  
Additional driveway, 3 bedroom

## 9. Landscape Elements

### 9a. Plantings

(many original)

Responsibility:	Installation and Cost: Property Owner, Maintenance: Spinnaker HOA
Location:	
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	
Misc. Details/Comments:	Landscaping is maintained by the Association. Owners are permitted to improve their immediate area by adding landscape material at their expense. This is only to be done after review and approval of a landscape design diagram similar to the one shown below and a list of the requested material. The design and material used must be approved by the Association Manager in conjunction with the Landscape Maintenance Provider.



Figure 62  
Landscaping Example

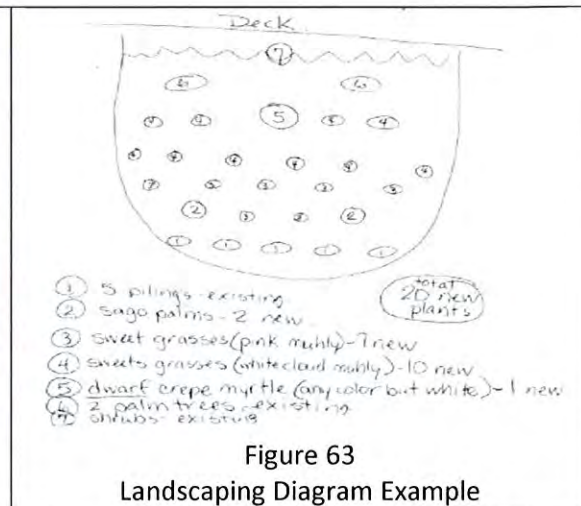


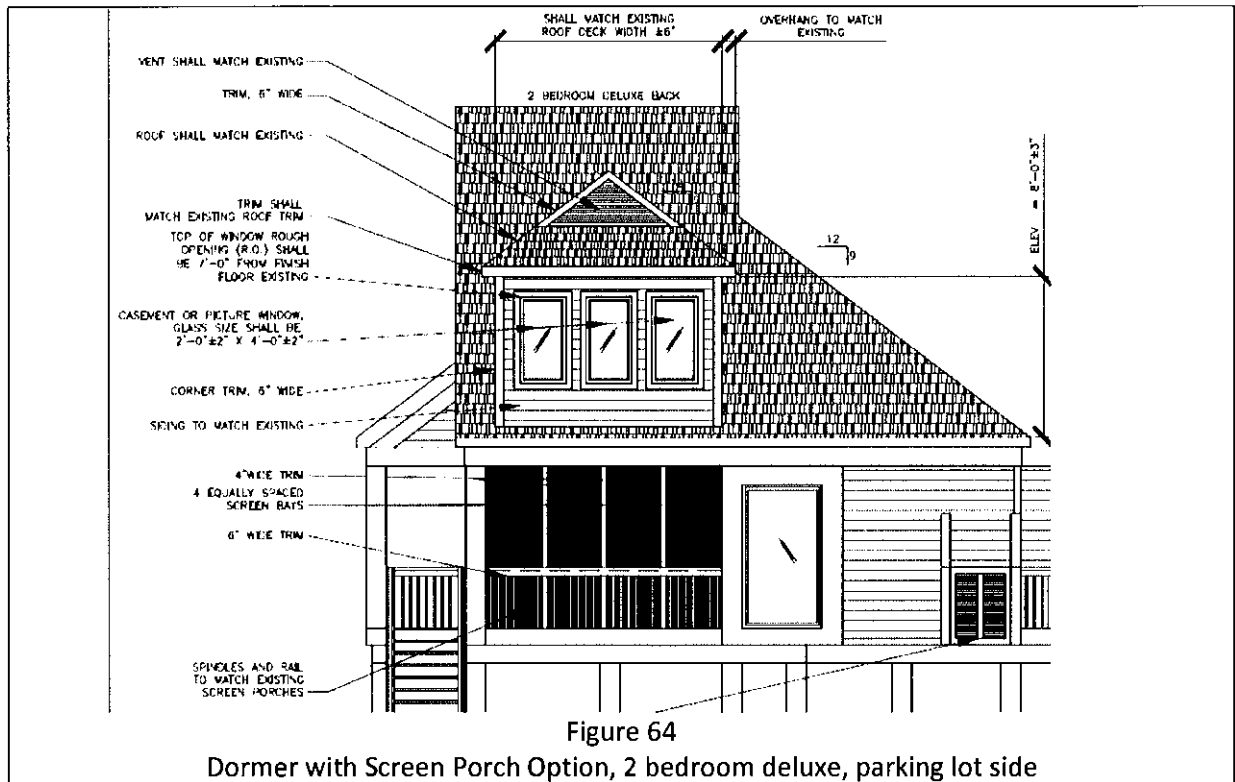
Figure 63  
Landscaping Diagram Example

## 10. Additions and Modifications

### 10a. Dormers

(2006)

Responsibility:	Property Owner
Location:	Roof
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	SW Wool Skein
Misc. Details/Comments:	<p>Dormers meeting the proper design detail are approved for the front and/or back of any Spinnaker unit. Architect plans for the dormers ARE REQUIRED for approval. The plans must incorporate the design details and architectural standards as shown in the following illustrations to ensure structural soundness (additional reinforcement of load bearing members) and to enhance appearance (extend dormers to correspond to lower level walls).</p> <p>For details and contact information call the Spinnaker Beach Houses Association Manager. Also see Appendix for additional options.</p>



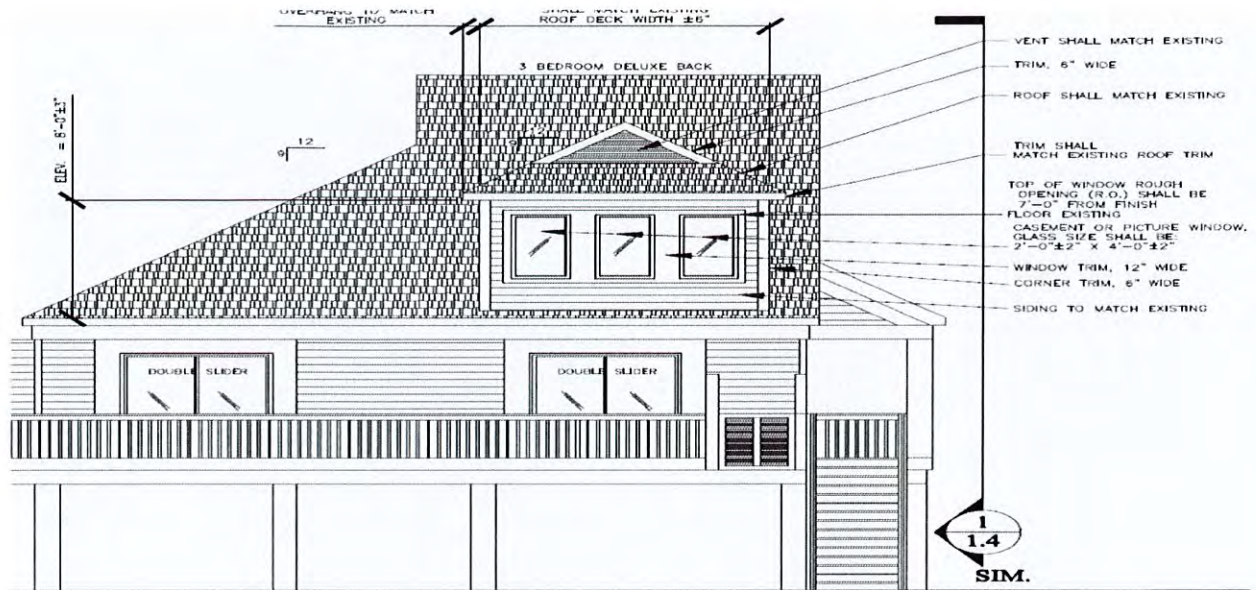


Figure 2: Dormers

Figure 65  
Dormers, 3 Bedroom, parking lot side



Figure 66  
Dormer, 3 Bedroom, golf course or Seabrook Island Rd. side.

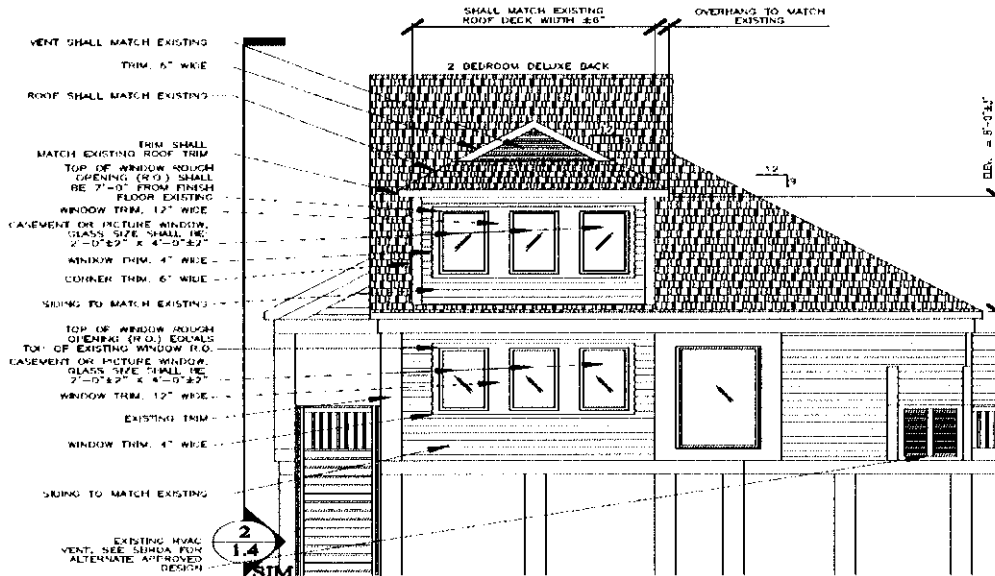


Figure 4: Dormers

Figure 67

Dormer, 2 Bedroom Deluxe, dormer over enclosed porch, parking lot side



Figure 5: Dormers

Figure 68

Two Bedroom Deluxe, golf course or Seabrook Island Road side

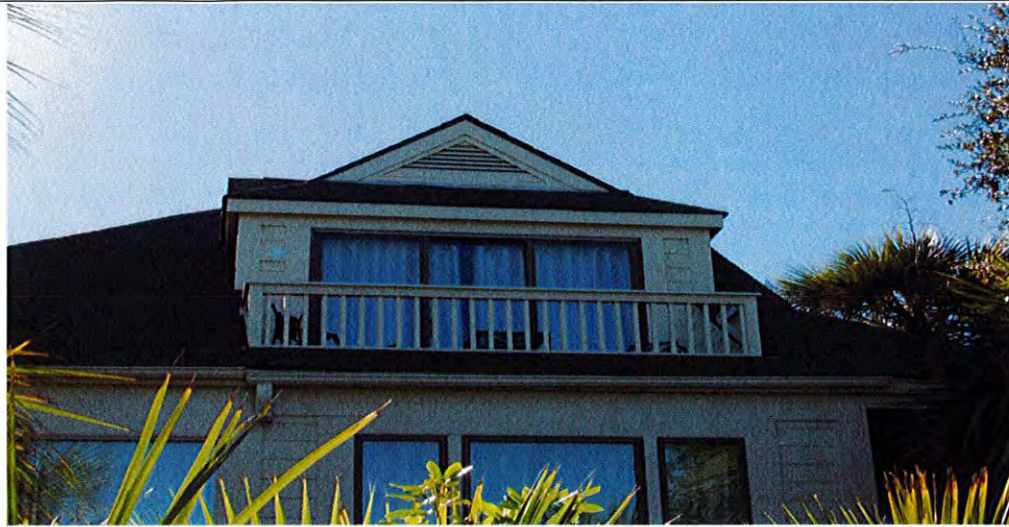


Figure 69

Dormer with half deck, Three Bedroom, golf course or Seabrook Island Road side

### 10b. 2 Bedroom Middle Unit Expansion

(2016)

Responsibility:	Property Owner
Location:	2 Bedroom Middle Units
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	
Misc. Details/Comments:	This modification allows for two additional rooms to be added to a 2 bedroom middle unit. The first room is created by extending the villa onto the parking-lot deck with a channel-space in-between the adjacent villa. This allows for another room (dormer) to be added above it on the second floor with a dormer.



Figure 70



Figure 71



Figure 72



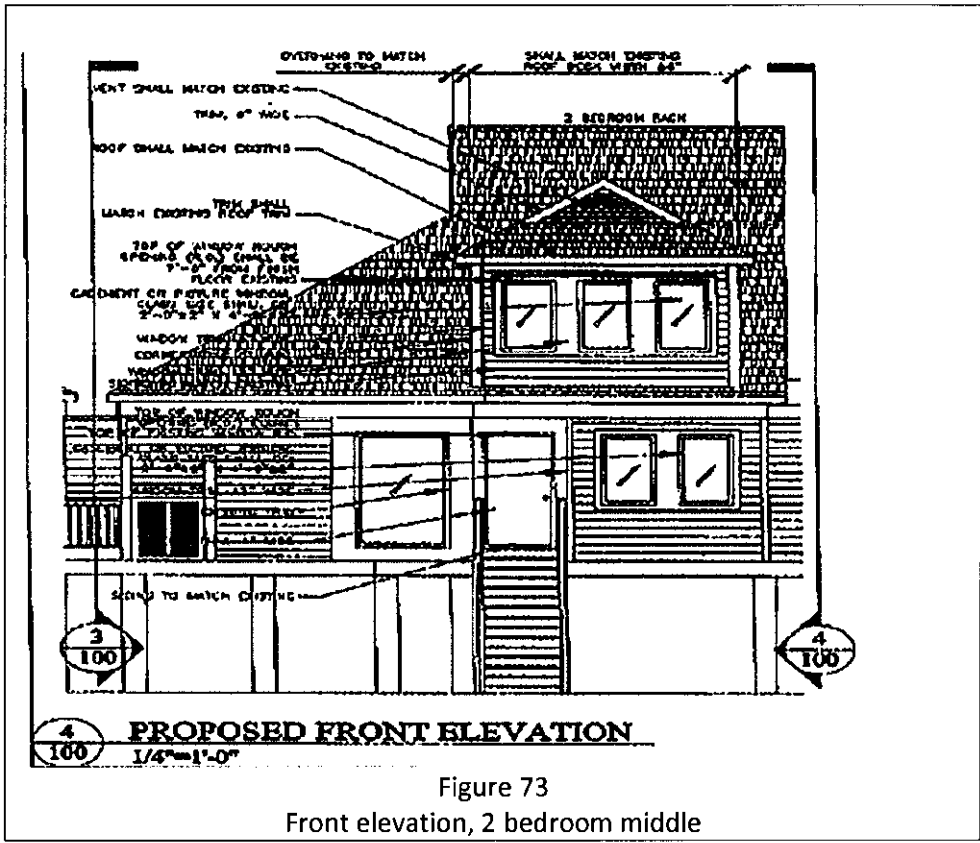


Figure 73  
Front elevation, 2 bedroom middle

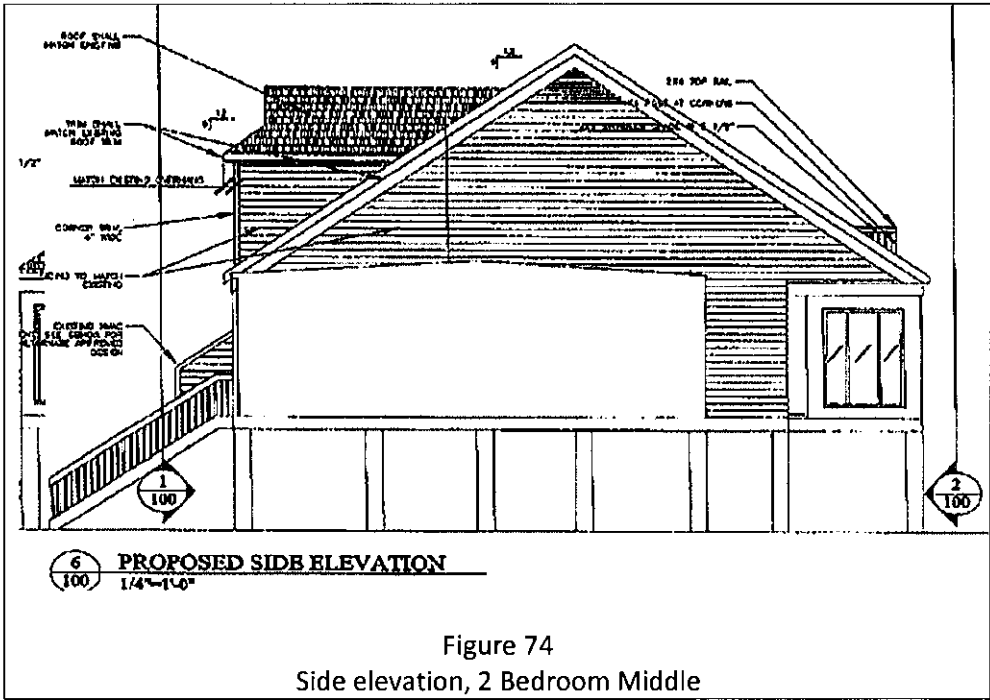
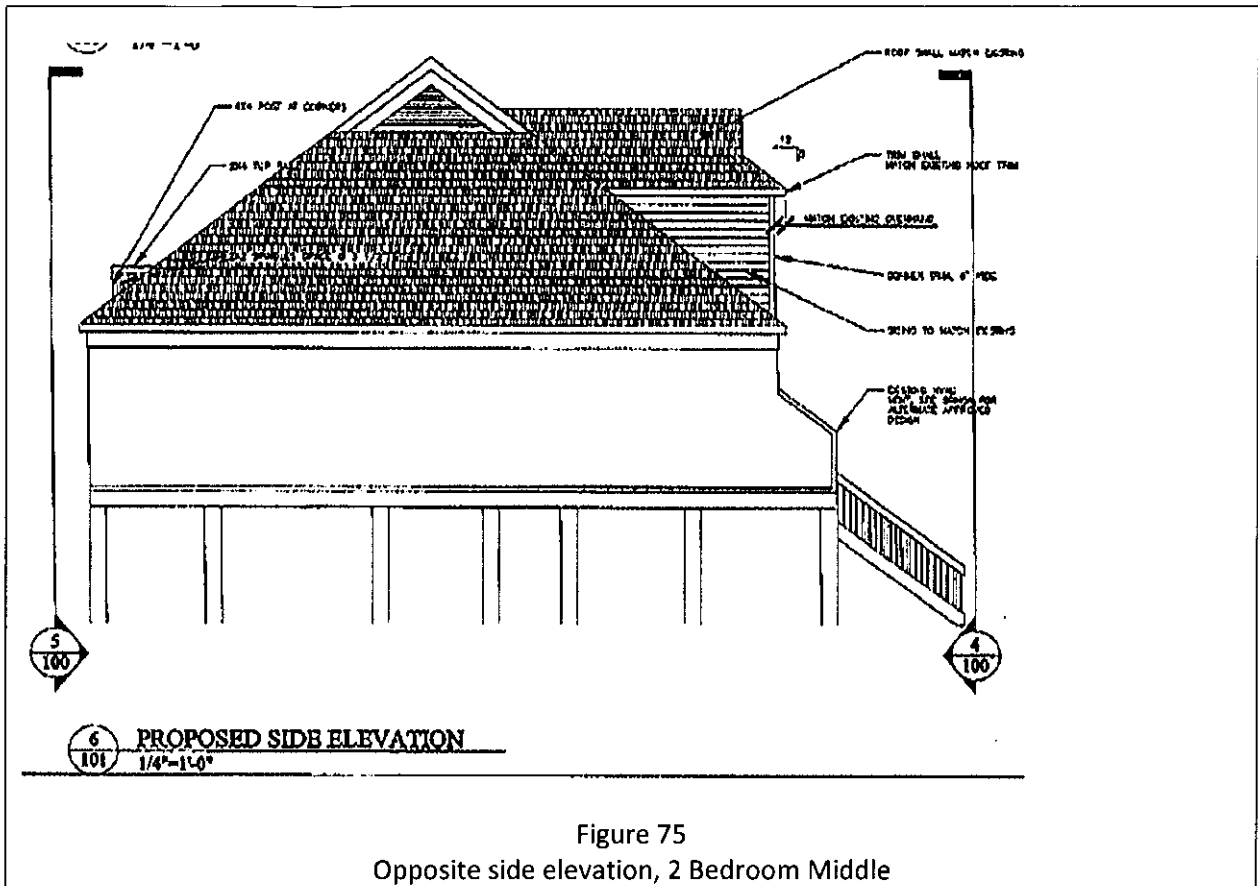


Figure 74  
Side elevation, 2 Bedroom Middle



## 10. Additions and Modifications

### 10c. 3 Bedroom Modifications

(2018)

Responsibility:	Property Owner
Location:	3 Bedroom Units
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	
Misc. Details/Comments:	This modification allows for enclosing the existing screen porch, extending the entry porch roofline, creating a new screened porch.

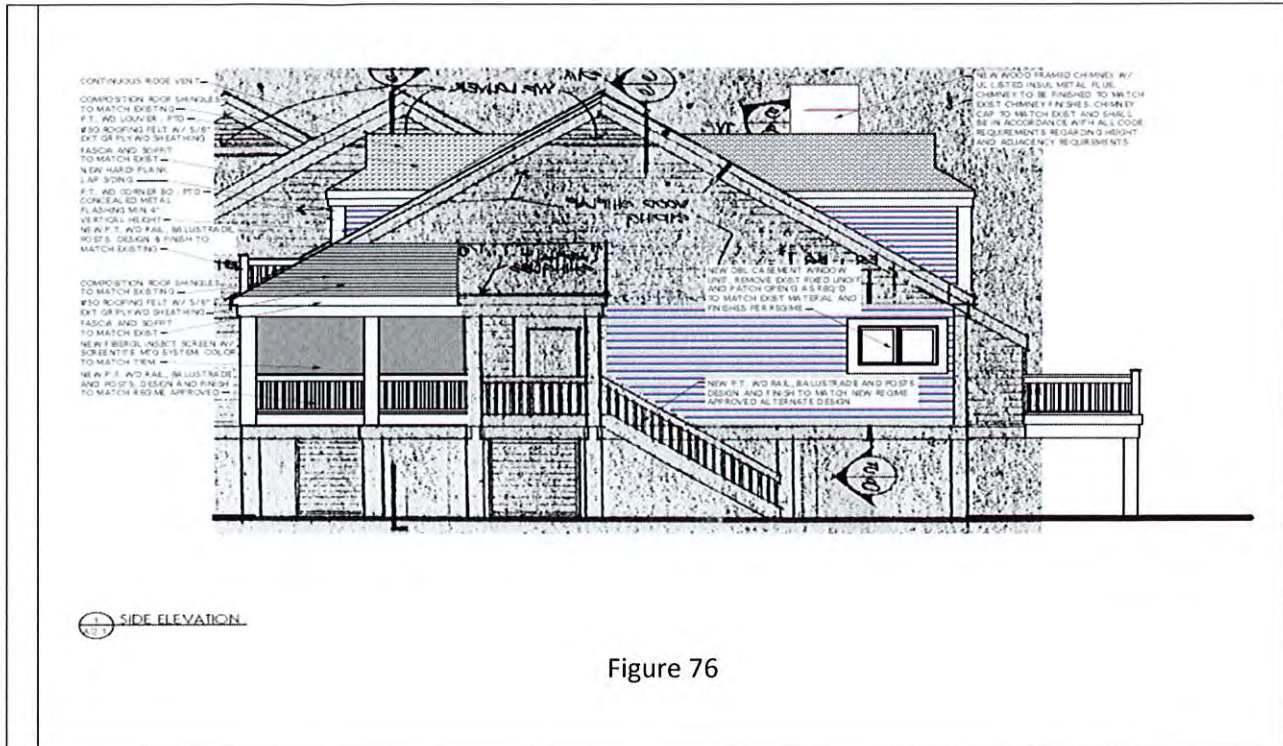


Figure 76

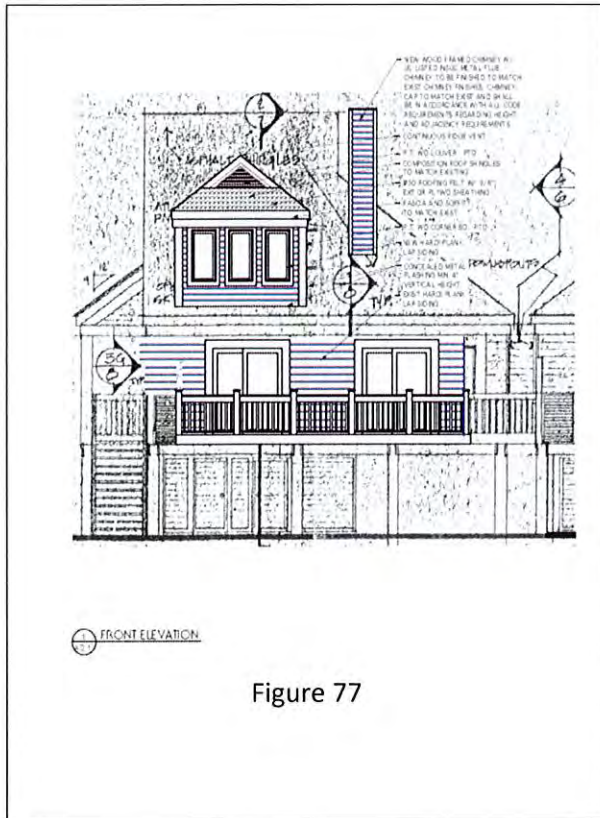


Figure 77

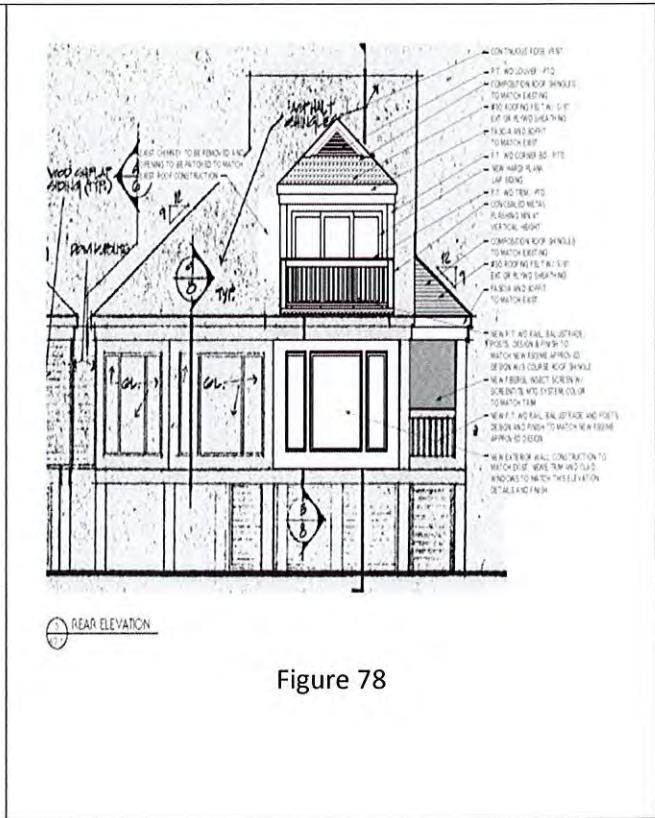


Figure 78


## 11. Painting

(2008)

Responsibility:	Property Owner
Location:	
Manufacturer:	
Materials:	
Style & Description:	
Size:	
Color:	Sherwin Williams Wool Skein #6148 Paint (not Stain)
Misc. Details/Comments:	<p>The approved color for exterior siding and trim is Wool Skein #6148 by Sherwin Williams.</p> <p>STAIR RISERS must be painted in the approved color for siding and trim, or left natural but treated (i.e. clear). No contrasting colors are permitted.</p> <p>STEPS can be painted the approved color of siding, or left natural. Staining is allowed as long as the resulting color does not vary from the approved color of the steps.</p> <p>WINDOW TRIM must be "best match" to the unit paint color or match the approved trim color that appears on the unit's other exterior glass doors and windows.</p> <p>FRONT DOORS must be painted Sherwin Williams Wool Skein or Urban Jungle.</p>

## Appendix A. History of Changes to this Document

All changes from this point forward will be added below:

Date of Change	Manual Rev #	
02/2020		<p style="text-align: center;"><b>Expanded HVAC Stand</b></p> <p>Change allows for the widening of the HVAC stand to accommodate the addition of a mini-split heating/cooling unit. Stand can be no wider than 73". All other dimensions must meet previous standards, found on page 26, Figure 42. Please note that depending on the unit, address numbers may have to be moved off the siding to be centered on the lower trim of the enclosure (Spinnaker Standards indicate must be "attached to trim above carport"). See Figure 79.</p> <div data-bbox="456 730 1133 1583" style="text-align: center;"></div> <p style="text-align: center;">Figure 79</p>
11/2020		<p style="text-align: center;"><b>Pella Rolscreen Storm Door</b></p> <p>Addition of Pella Rolscreen Storm Door as a storm door option. This is still a "full view" door, but it has a screen that rolls up into the door. Door must be white in color. See Figure 80.</p>

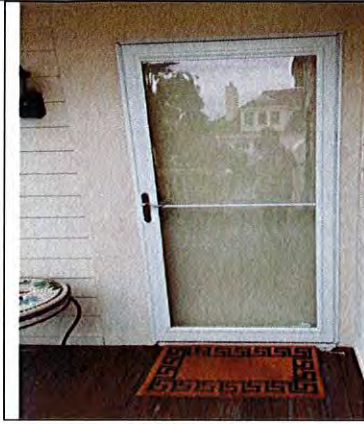


Figure 80

10/2021

### Upper Deck Minisplit

Option to install an additional small AC condenser on a Spinnaker upper full deck (not approved for dormer options). Ability to place on deck or hang on adjacent wall (not a demising wall); see attached scale drawing and unit specification sheet. Unit must be placed in back corner as per below so as not to be visible from ground level.

This type of unit can be an economical solution for those owners who wish to install a separate unit on the second floor without having to expand the condenser stand on 1st floor and disrupt the interior living spaces to achieve installation. Hoses and electrical will be routed directly from the side of the unit into the cavity between the porch wall and the exterior wall of villas then into the attic space.



Figure 81

10/2021

### Covered Half Dormer Option

Modify the previously approved half deck/dormer as shown in Figure 69, Section 10 a. of the Regulations and Standards to create a new Standard option for a covered half deck-dormer, as shown below (Note: only reference bubbled area, other areas of drawing may not be 100% accurate). The roof line will be extended over the deck portion to create a covered porch. The dormer roof design and detail will be the same as the approved full dormer detail as shown in Figure 64, Section 10 a of the Regulations and Standards. See Figures 82 and 83 below.



Figure 82

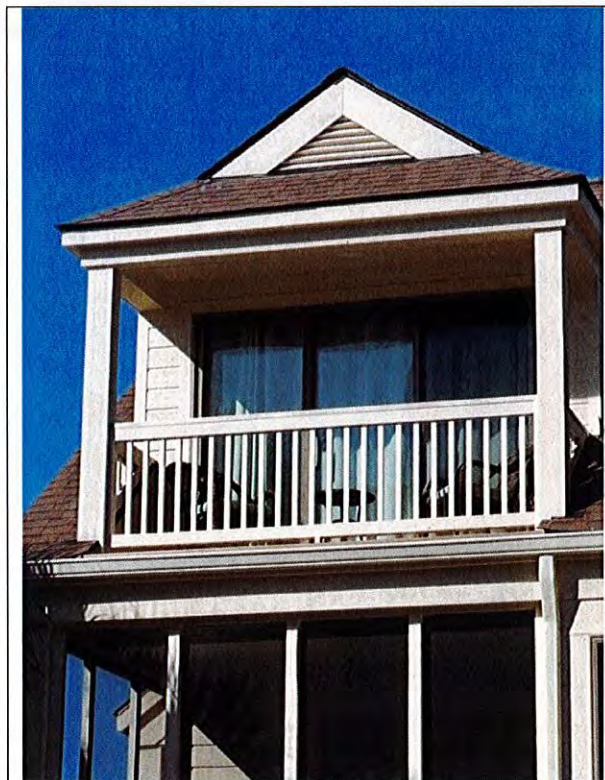


Figure 83

Owners may not install any décor on their neighbor's siding. The Board reserves the right to request that any décor, signage etc. be removed from a villa in their sole discretion.

11/2021

**3 Bedroom Side Porch Enclosure Option**

3 bedroom villa owners may enclose the existing screened side porch, remove the sliders and install 3 windows (48" tall with siding below) as shown below in Figure 84.



Figure 84





# Ravenel Associates

## External Repair and Modification Request Form

**Association Manager:** \_\_\_\_\_

Cameron Leyh, CMCA  
Ravenel Associates, Inc.

960 Morrison Drive, Ste 100

Charleston, SC 29403

Phone: 843-768-9480

Fax: 843-768-5047

Email: [cleyh@ravenelassociates.com](mailto:cleyh@ravenelassociates.com)

Please note that the Spinnaker unit numbers and bird design are no longer available. If removed for renovations, these should be kept in a safe place to be reinstalled after work is complete.

**NOTE:** Homeowners should complete this form in its entirety and return it to the association manager. You can expect a response from the Association within 30 days from receipt of all required information.

**PROPERTY INFORMATION:** *This section must be completed.*

Name of Community: **Spinnaker Beach Houses**

Property Address: \_\_\_\_\_

Name of Owner: \_\_\_\_\_

Primary Telephone Number: \_\_\_\_\_

E-Mail or Alternate Contact Information: \_\_\_\_\_

**PROPOSED IMPROVEMENT/ALTERATION:** *Please check all that apply.*

- |  |  |                                       |  |
|--|--|---------------------------------------|--|
| <input type="checkbox"/> Dormer                                  | <input type="checkbox"/> Gutters / Downspouts    | <input type="checkbox"/> Propane Tank | <input type="checkbox"/> Siding          |
| <input type="checkbox"/> Upper Level Deck                        | <input type="checkbox"/> Ground Level Storage    | <input type="checkbox"/> Landscaping  | <input type="checkbox"/> Painting        |
| <input type="checkbox"/> Lower Level Porches or Enclosure        | <input type="checkbox"/> Awnings                 | <input type="checkbox"/> Lighting     | <input type="checkbox"/> Exterior Shower |
| <input type="checkbox"/> Exterior Stairs, Posts, Railings, Gates | <input type="checkbox"/> Exterior Door or Window | <input type="checkbox"/> Walkway      | <input type="checkbox"/> HVAC            |

Other \_\_\_\_\_

**AUTHORIZATION TO VISIT PROPERTY:** Site visits to the property by the Association are essential to process this application. The Owner, as signed below, hereby authorizes the Association and/or Manager to visit and photograph the property referenced on this application.

**DESCRIBE PROPOSED IMPROVEMENT/ALTERATION:** *MANDATORY: Include all Section Names, Page Numbers, Drawing or Figure References from the SBHOA Standards as applicable. Please attach additional sheets if necessary. A copy of the contractor Scope (or Statement) of Work is advised. APPLICATION WILL NOT BE REVIEWED IF SUBMITTED WITHOUT REFERENCES TO STANDARDS DOCUMENT.*

**PLEASE COMPLETE THE FOLLOWING:**

\_\_\_\_ Send one original, signed, completed application to:

**By mail or delivery to:** Cameron Leyh, Ravenel Associates, 960 Morrison Drive, Suite 100, Charleston, SC 29403 **or**

**By E-Mail to:** [cleyh@ravenelassociates.com](mailto:cleyh@ravenelassociates.com)

**Check all that apply:**

\_\_\_\_ List of materials to be used

\_\_\_\_ Work will be completed by (yourself or company)

Company Name: \_\_\_\_\_ Contact Name: \_\_\_\_\_

Phone Number: \_\_\_\_\_ Email address: \_\_\_\_\_

\_\_\_\_ Estimated time to complete project: \_\_\_\_\_

**APPLICANT'S AGREEMENT & SIGNATURE:**

- *I have read my Community's governing documents and I am in compliance with all Covenants and Restrictions.*
- *I understand that it is my responsibility to verify all property lines, easements, and City and County Codes and Ordinances.*
- *I understand that any permits required will be obtained and posted.*
- *I will not begin any projects until written approval has been received from the Spinnaker Beach House Board and ARC, if required.*
- *Any change in scope of work post ARC approval shall require an updated request form. Contact the SBHOA Property Manager.*

Owner's Signature: \_\_\_\_\_

Date: \_\_\_\_\_

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