

**SECOND AMENDMENT TO
MASTER DEED
OF
TWELVE OAKS AT FENWICK PLANTATION
HORIZONTAL PROPERTY REGIME**

THIS SECOND AMENDMENT TO THE MASTER DEED OF TWELVE OAKS AT FENWICK PLANTATION HORIZONTAL PROPERTY REGIME (the "Second Amendment") is executed this 24 day of October, 2007, by FENWICK PLANTATION TARRAGON, LLC, a South Carolina limited liability company, f/k/a Fenwick Tarragon Apartments, LLC, a South Carolina limited liability company (the "Declarant").

WHEREAS, on the 8th day of August, 2006, Declarant executed that certain Master Deed establishing Twelve Oaks at Fenwick Plantation Horizontal Property Regime (the "Master Deed"), which Master Deed was recorded on the 10th day of August, 2006, in the Office of the Register of Mesne Conveyance for Charleston County, South Carolina, in Book E594 at Page 684; and

WHEREAS, the Master Deed was amended by that certain First Amendment to Master Deed of Twelve Oaks at Fenwick Plantation Horizontal Property Regime (the "First Amendment"), which First Amendment was executed by Declarant on the 24th day of August, 2006 and recorded on the 25th day of August, 2006, in the Office of the Register of Mesne Conveyance for Charleston County, South Carolina, in Book C596 at Page 782; and

WHEREAS, the defined terms contained herein not otherwise defined in this Second Amendment shall have the same meaning ascribed to such terms as provided in the Master Deed; and

WHEREAS, Declarant has determined there are various typographical errors in the Master Deed that should be corrected; and

WHEREAS, Declarant has determined that "Exhibit C" of the Master Deed, as amended by the First Amendment, should be further amended to include building layouts depicting the location of the Units, garages, and storage units within the Buildings; and

WHEREAS, in order to accomplish the foregoing, the Declarant has executed this Second Amendment.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS, the Declarant does hereby declare:

1. Section 2.7 is hereby deleted and replaced with the following:

"2.7 'Association' shall be defined as Twelve Oaks at Fenwick Plantation Property Owners Association, Inc., a South Carolina nonprofit corporation, its successors and assigns."

2. Section 2.29 is hereby deleted and replaced with the following:

"2.29 '**Plans**' shall be defined as the building plans, floor plans, building layouts and Unit table set forth in Exhibit "C" describing the Units as required by the Act."

3. The first paragraph of Article 3 is hereby deleted and replaced with the following:

The Regime subject to this Master Deed and the Act is located in Johns Island, Charleston County, South Carolina, being more particularly described in **Exhibit "A"** attached to this Master Deed, which exhibit is specifically incorporated herein by this reference (the "**Property**"). The Plat relating to the Regime, is more particularly described in the attached **Exhibit "B"**, which exhibit is specifically incorporated herein by this reference (the "**Plat**"). Floor plans, elevations, building layouts and Unit tables relating to the Regime, are more particularly described in the attached **Exhibit "C"** which exhibit is specifically incorporated herein by this reference (the "**Plans**"). The Declarant shall have the right to file additional plats and plans from time-to-time as necessary or appropriate to further describe the Regime, Common Elements, Limited Common Elements, or Units, or to comply with the Act. Further, the Declarant shall have the right to file additional plats and plans which modify or adjust a previously filed plat or plan as deemed necessary and appropriate by Declarant. The Plans are incorporated herein by reference as if the same were set forth in their entirety herein.

4. In order to have the total percentage of Percentage Interests exactly equal 100%, the Overall Summary – Composite Chart in "**Exhibit D**" is hereby deleted and replaced with the following:

OVERALL SUMMARY - COMPOSITE CHART:

Subsequent to the filing of the Master Deed, the total number of Units by Type and Percentage Interest is as follows:

| <u>Residence Type</u> | <u>Individual % Interest</u> | <u>Total # of Residences</u> | <u>Total Percentage</u> |
|-----------------------|------------------------------|------------------------------|-------------------------|
| Ap | .3382% | 34 | 11.50% |
| As | .3908% | 28 | 10.94% |
| Bp | .4588% | 52 | 23.86% |
| Bs | .5114% | 46 | 23.52% |
| Cp | .5226% | 3 | 1.57% |
| Cs | .5753% | 24 | 13.81% |
| D | .5342% | 21 | 11.22% |
| E | .4845% | 6 | 2.91% |
| F | .3370% | 2 | .67% |
| | | | 100% |

5. "Exhibit C" to the Master Deed, as amended by the First Amendment, is hereby deleted and replaced in its entirety with "Exhibit C" attached hereto.

6. In the event of a conflict between the terms and conditions of the Master Deed or the First Amendment and this Second Amendment, this Second Amendment shall control. In all other respects, the provisions set forth in the Master Deed shall remain in full force and effect.

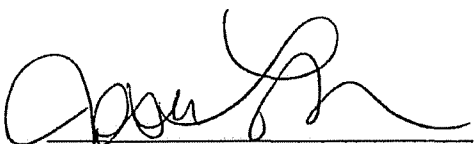
[Signature Page Attached]

IN WITNESS WHEREOF, the Declarant has caused its duly authorized officer to execute this Second Amendment on the day and year first above written.

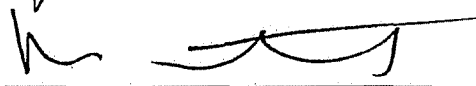
Fenwick Plantation Tarragon, LLC, a South Carolina limited liability company

By: Charleston Tarragon Manager, LLC, a Delaware limited liability company, its managing member

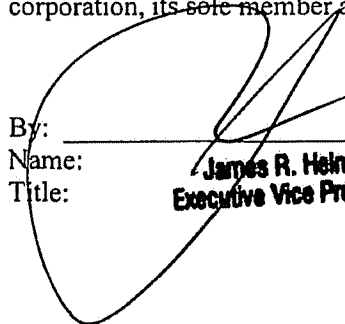
By: Tarragon Development Corp., a Nevada corporation, its sole member and manager



Witness



Witness

By: 
Name: James R. Helman
Title: Executive Vice President

STATE OF Florida)
COUNTY OF Broward)

ACKNOWLEDGMENT

I, the undersigned Notary Public for the State of Florida, do hereby certify that Fenwick Plantation Tarragon, LLC, a South Carolina limited liability company, by Charleston Tarragon Manager, LLC, a Delaware limited liability company, its managing member, by Tarragon Development Corp., a Nevada corporation, its sole member and manager, by James R Helman, its Executive Vice President personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and official seal this the 24 day of October, 2007.



Notary Public for Florida
My Commission Expires: 11/12/07

EXHIBIT "C"

FLOOR PLANS AND DESCRIPTIONS OF UNITS

NOTE

Exhibit "C" is a set of floor plans of the buildings and building layouts which show graphically the dimensions, area and location of the Units therein, and the dimensions, area and location affording access to each Unit. The floor plans and building layouts are attached hereto. Said Exhibit further includes the matters set forth below.

The Regime consists of two hundred sixteen (216) Units. The nine (9) basic floor plan types and floor area totals are as follows:

| Type of Floor Plan | Square Footage | Floor | Bldg. | Number of Units | Unit Numbers |
|--|----------------|-------|-------|-----------------|---|
| <i>Ap</i> (Flat 'A' on Plans) | 816 | 1 | 1 | 3 | 114, 124, 134 |
| | | | 2 | 5 | 213, 223, 2210, 233, 2310 |
| | | | 3 | 8 | 312, 316, 322, 326, 327, 332, 336, 337 |
| | | | 4 | 3 | 414, 424, 434 |
| | | | 5 | 3 | 514, 524, 534 |
| | | | 6 | 3 | 614, 624, 634 |
| | | | 7 | 3 | 714, 724, 734 |
| | | | 8 | 3 | 814, 824, 834 |
| | | | 9 | 3 | 914, 924, 934 |
| <i>As</i> (Flat 'A' on Plans with Solarium) | 943 | 2 | 1 | 2 | 127, 137 |
| | | | 2 | 5 | 215, 225, 2212, 235, 2312 |
| | | | 3 | 9 | 311, 314, 315, 321, 324, 325, 331, 334, 335 |
| | | | 4 | 2 | 427, 437 |
| | | | 5 | 2 | 527, 537 |
| | | | 6 | 2 | 627, 637 |
| | | | 7 | 2 | 727, 737 |
| | | | 8 | 2 | 827, 837 |
| | | | 9 | 2 | 927, 937 |
| <i>Bp</i> (Flat 'B' on Plans) | 1107 | 1 | 1 | 6 | 113, 116, 123, 126, 133, 136 |
| | | | 2 | 8 | 211, 214, 221, 224, 229, 231, 234, 239 |
| | | | 3 | 2 | 328, 338 |
| | | | 4 | 6 | 413, 416, 423, 426, 433, 436 |
| | | | 5 | 6 | 513, 516, 523, 526, 533, 536 |
| | | | 6 | 6 | 613, 616, 623, 626, 633, 636 |
| | | | 7 | 6 | 713, 716, 723, 726, 733, 736 |
| | | | 8 | 6 | 813, 816, 823, 826, 833, 836 |
| | | | 9 | 6 | 913, 916, 923, 926, 933, 936 |
| <i>Bs</i> (Flat 'B' on Plans with | 1234 | 2 | 1 | 5 | 115, 125, 128, 135, 138 |
| | | | 2 | 8 | 212, 216, 222, 226, 2211, 232, 236, 2311 |

| | | | | | |
|---|------|-------------|----|---|------------------------------------|
| Solarium) | | | 3 | 3 | 313, 323, 333 |
| | | | 4 | 5 | 415, 425, 428, 435, 438 |
| | | | 5 | 5 | 515, 525, 528, 535, 538 |
| | | | 6 | 5 | 615, 625, 628, 635, 638 |
| | | | 7 | 5 | 715, 725, 728, 735, 738 |
| | | | 8 | 5 | 815, 825, 828, 835, 838 |
| | | | 9 | 5 | 915, 925, 928, 935, 938 |
| Cp (Flat 'C' on Plans) | 1261 | 1 | 2 | 3 | 217, 227, 237 |
| Cs (Flat 'C' on Plans with Solarium) | 1388 | 2 | 1 | 3 | 111, 121, 131 |
| | | | 2 | 3 | 218, 228, 238 |
| | | | 4 | 3 | 411, 421, 431 |
| | | | 5 | 3 | 511, 521, 531 |
| | | | 6 | 3 | 611, 621, 631 |
| | | | 7 | 3 | 711, 721, 731 |
| | | | 8 | 3 | 811, 821, 831 |
| D (Flat 'D' on Plans) | 1289 | 1 | 1 | 3 | 112, 122, 132 |
| | | | 4 | 3 | 412, 422, 432 |
| | | | 5 | 3 | 512, 522, 532 |
| | | | 6 | 3 | 612, 622, 632 |
| | | | 7 | 3 | 712, 722, 732 |
| | | | 8 | 3 | 812, 822, 832 |
| | | | 9 | 3 | 912, 922, 932 |
| E (Town House Unit 'E' on Plans) | 1169 | n/a (TH) | 12 | 6 | 1211, 1212, 1213, 1214, 1215, 1216 |
| F (Leasing Center Second Floor Plan on Plans) | 813 | 2 | 10 | 2 | 1021, 1022 |

ONE-BEDROOM TYPE Ap and As UNITS

The Type Ap and As Units ("Flat A" on Plans) are one-bedroom/one-bathroom Units. Through the front door are a dining area and a living room. The kitchen opens to the dining area. A door located off of the living room provides access from the living room to the bedroom and bathroom. The bathroom is also accessible from the foyer area. Units designated as "Type Ap" contain a porch or balcony, whereas Units designated as "Type As" contain a solarium.

TWO-BEDROOM TYPE Bp and Bs UNITS

The Type Bp and Bs Units ("Flat B" on Plans) are two-bedroom/two-bathroom Units. Through the front door are a dining area and a living room. The kitchen opens to the dining area. A door located off of the living room provides access from the living room to a bedroom and private bathroom. Another door located on the opposite side of the living room provides access into another bedroom. A second bathroom is accessible from this bedroom and from the foyer area. Units designated as "Type Bp" contain a porch or balcony, whereas Units designated as "Type Bs" contain a solarium.

THREE-BEDROOM TYPE Cp and Cs UNITS

The Type Cp and Cs Units ("Flat C" on Plans) are three-bedroom/two-bathroom Units. Through the front door are a dining area and a living room. The kitchen opens to the dining area. A door located off of the living room provides access from the living room to the master bedroom and bathroom. This bathroom is also accessible from the foyer area. A small hallway located on the opposite side of the living room from the master bedroom provides access to the second and third bedrooms and a second bathroom. This bathroom is accessible from the hallway and from the second bedroom. Units designated as "Type Cp" contain a porch or balcony, whereas Units designated as "Type Cs" contain a solarium.

THREE-BEDROOM TYPE D UNITS

The Type D Units ("Flat D" on Plans) are three-bedroom/two-bathroom Units. Through the front door are a dining area and a living room. The kitchen opens to the dining area. A door located off of the living room provides access from the living room to the master bedroom and bathroom. This bathroom is also accessible from the foyer area. A small hallway located on the opposite side of the living room from the master bedroom provides access to the second and third bedrooms and a second bathroom. This bathroom is accessible from the hallway and from the second bedroom. Units designated as "Type D" contain a porch or balcony.

TWO-BEDROOM TYPE E UNITS

The Type E Units ("Town House Unit E" on Plans) are two-bedroom/two-bathroom Units. Entry to the Unit is found at the top of the stairwell leading from the garage. Through the front door is a living/dining area. The kitchen opens to this living/dining area. A stairwell off the entry stairs leads to a third floor. A small hallway off the stairwell leads to a bathroom and bedroom on one side and a master bedroom on the opposite side. A private bath and walk in closet are located off the master bedroom.

ONE-BEDROOM TYPE F UNITS

The Type F Units ("Leasing Center Second Floor Plan" on Plans) are one-bedroom/one-bathroom Units. Through the front door are a dining area and a living room. The kitchen opens to the dining area and the living room. A door located off of the dining room provides access to a small hallway which leads to the bedroom, bathroom and a washer/dryer room.

As to each Unit, all built-in kitchen appliances, the refrigerator, air conditioner units and condensers and hot water heater located in each Unit are part of the Unit in which they are located and are not Common Elements. The parking area designated on the Plat is a Common Element. The garages designated on the Plans are Limited Common Elements. In addition, the storage units designated on the Plans are Limited Common Elements and the porches/patios and balconies are Limited Common Elements.

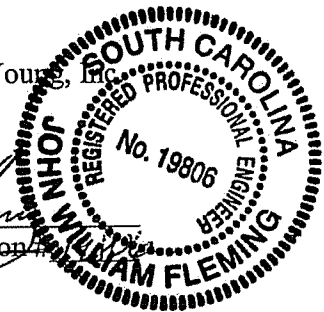
Exhibit "C" is deemed to include the attached certification letter of Hussey, Gay, Bell and DeYoung, Inc.

ENGINEER'S CERTIFICATE

This is to certify that TWELVE OAKS AT FENWICK PLANTATION HORIZONTAL PROPERTY REGIME consists of multiple buildings, condominium units, garage units and storage units. These buildings and units are built substantially in accordance with the floor plans and building layouts attached to the Master Deed for said Regime and recorded in the Office of the Register of Mesne Conveyance for Charleston County, South Carolina, except for minor variations which are customary in projects of this nature.

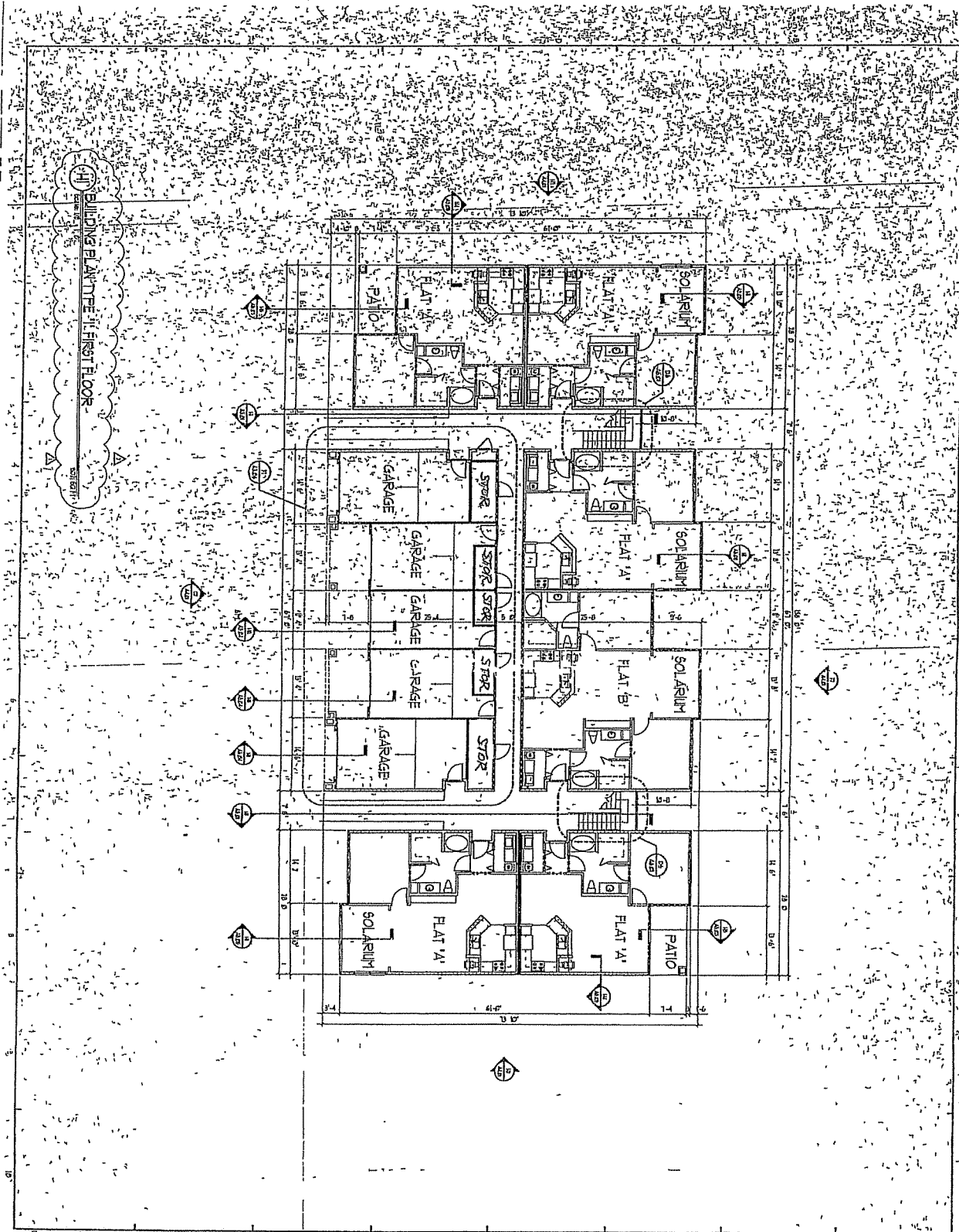
Hussey, Gay, Bell & DeYoung, Inc.

By: William Fleming
South Carolina Registration #



County of Charleston
State of South Carolina
The foregoing instrument was acknowledged before me
this 9th day of October, 2007
by Elizabeth T McMullan
Elizabeth T McMullan Notary Public
ELIZABETH K. MCMULLAN
My commission expires July 14, 2016





NOTES

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
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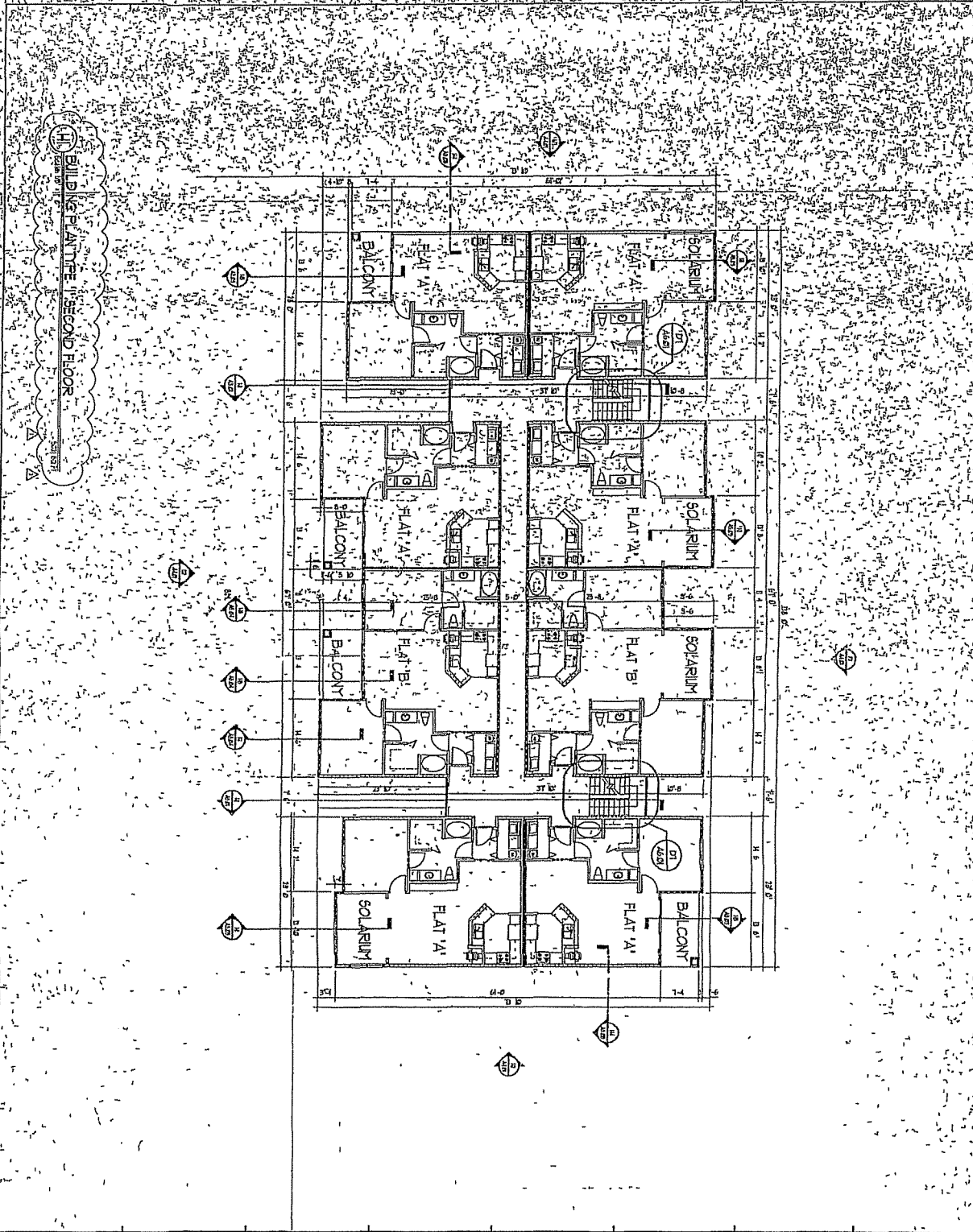
GENERAL NOTES

1. FLOOR LAYOUT IS IN ACCORDANCE WITH THE ARCHITECT'S INTENT.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
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AS BUILT

| | |
|-------------------------------------|------------------|
| UNIQUE AT BUILDING PLANTATION | DATE: 01/18/2014 |
| QUESTION: 0000000000 | DATE: 01/18/2014 |
| BUILDING PLAN TYPE II - FIRST FLOOR | DATE: 01/18/2014 |
| AS BUILT | DATE: 01/18/2014 |

Evansburg Koch Associates
 1000 N. 10th St.
 Evansburg, IN 47122
 Phone: 317.434.1111
 Fax: 317.434.1112



NOTES

FULL GIBS SCHEDULE

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FLOORING GIBS SCHEDULE

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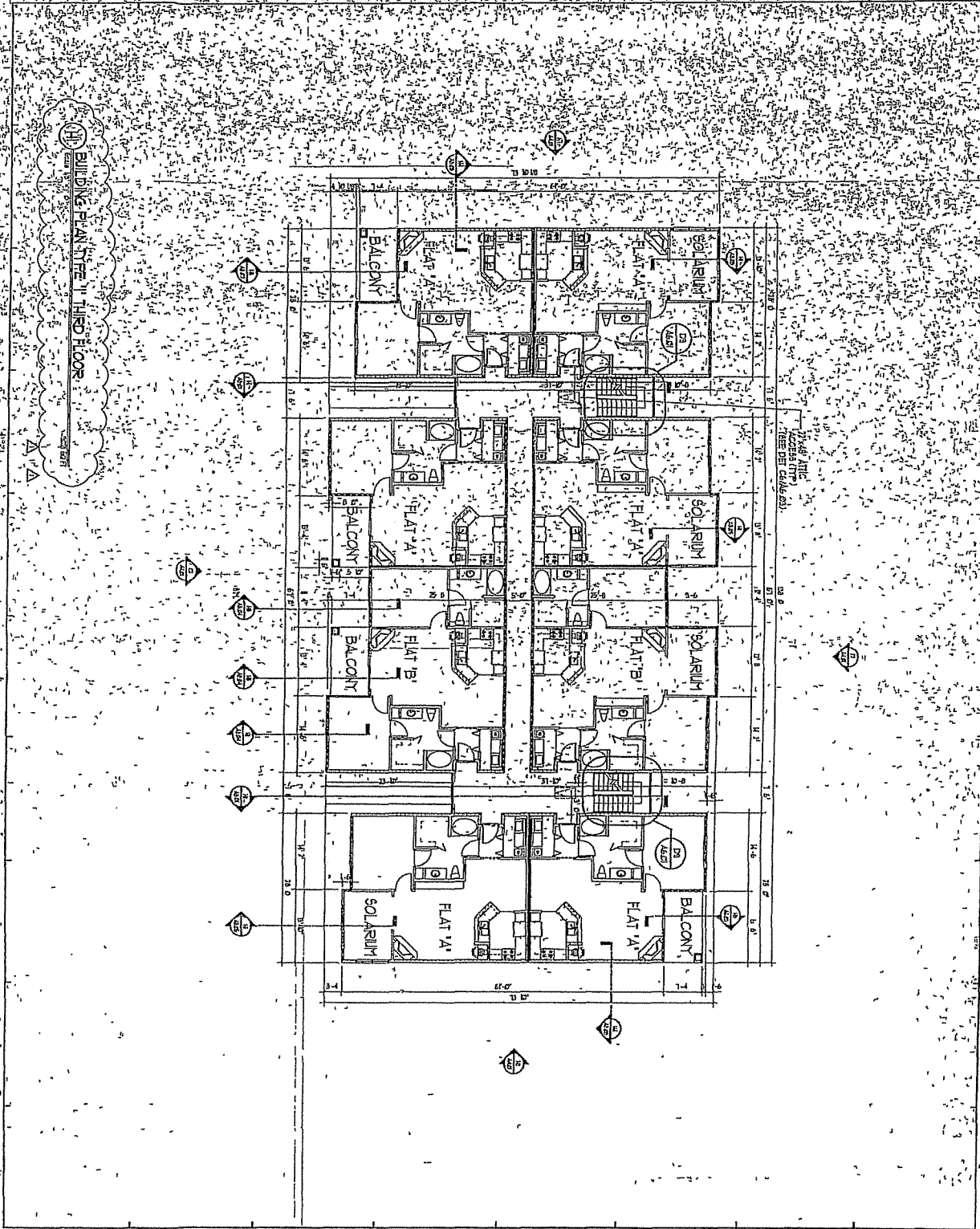
GENERAL NOTES

1. REFER TO DRAWING FOR DIMENSIONS AND DETAILS.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
3. ALL WORK IS TO BE ACCORDING TO THE S.P.A.C. SPECIFICATIONS.
4. REFER TO DRAWING FOR DIMENSIONS AND DETAILS.
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42. ALL WORK IS TO BE ACCORDING TO THE S.P.A.C. SPECIFICATIONS.
43. REFER TO DRAWING FOR DIMENSIONS AND DETAILS.
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59. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
60. ALL WORK IS TO BE ACCORDING TO THE S.P.A.C. SPECIFICATIONS.

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| 1 | 1/2" GIBS | 1/2" GIBS |
| 2 | 1/2" GIBS | 1/2" GIBS |
| 3 | 1/2" GIBS | 1/2" GIBS |
| 4 | 1/2" GIBS | 1/2" GIBS |
| 5 | 1/2" GIBS | 1/2" GIBS |
| 6 | 1/2" GIBS | 1/2" GIBS |
| 7 | 1/2" GIBS | 1/2" GIBS |
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| 10 | 1/2" GIBS | 1/2" GIBS |
| 11 | 1/2" GIBS | 1/2" GIBS |
| 12 | 1/2" GIBS | 1/2" GIBS |
| 13 | 1/2" GIBS | 1/2" GIBS |
| 14 | 1/2" GIBS | 1/2" GIBS |
| 15 | 1/2" GIBS | 1/2" GIBS |
| 16 | 1/2" GIBS | 1/2" GIBS |
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| 49 | 1/2" GIBS | 1/2" GIBS |
| 50 | 1/2" GIBS | 1/2" GIBS |

ENGINEERS
 Eng. S. M. K. & Co., Architects
 10, Market Street, SINGAPORE.

PROJECT INFORMATION
 VANGAGE AT PERHICK
 PLANATION
 BUILDING PLAN
 TYPE II
 SECOND FLOOR
 A201B



BUILDING PLAN TYPE II THIRD FLOOR

NOTES

- 1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
- 2. FINISHES TO BE AS SHOWN ON THE DRAWING.
- 3. ALL WORK TO BE IN ACCORDANCE WITH THE SANS STANDARDS.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL SERVICES AT ALL TIMES.
- 6. THE CONTRACTOR SHALL PROTECT ALL EXISTING SERVICES AND STRUCTURE.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
- 8. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL WASTE MATERIALS.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.

FLOORING SCHEDULE

| NO. | DESCRIPTION | QUANTITY | UNIT |
|-----|---------------------|----------|--------|
| 1 | WOOD BLOCK FLOORING | | SQ. M. |
| 2 | CERAMIC TILES | | SQ. M. |
| 3 | CONCRETE SLAB | | SQ. M. |
| 4 | PAINT | | LITERS |

GENERAL NOTES

1. WORK SHALL BE IN ACCORDANCE WITH THE SANS STANDARDS.
2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
3. FINISHES TO BE AS SHOWN ON THE DRAWING.
4. ALL WORK TO BE IN ACCORDANCE WITH THE SANS STANDARDS.
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| NO. | DESCRIPTION | QUANTITY | UNIT |
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| 1 | WOOD BLOCK FLOORING | | SQ. M. |
| 2 | CERAMIC TILES | | SQ. M. |
| 3 | CONCRETE SLAB | | SQ. M. |
| 4 | PAINT | | LITERS |

ASBULL

ENGINEERS ARCHITECTS

101 TOWN HALL ROAD, JOHANNESBURG

011 431 1111

1997 000 0000

PROJECT INFORMATION

NAME: AT ENRICK FLAT/ATION

ADDRESS: 4001 CECILIA

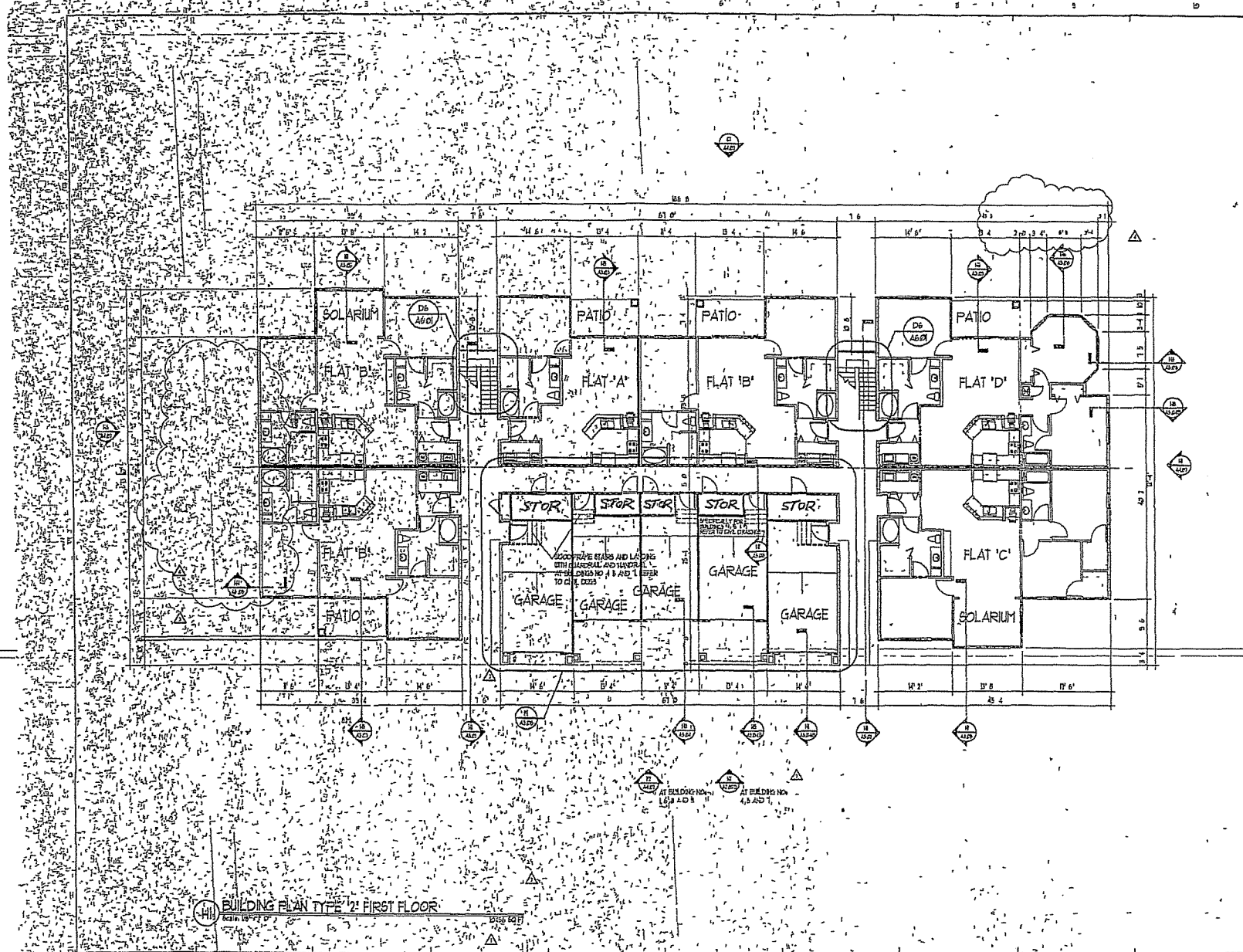
BUILDING PLAN TYPE II

THIRD FLOOR

DATE: 2010

SCALE: A2/DIC

8K J 64296807



| NOTES | |
|---|---|
| WALL CURB SCHEDULE | |
| 1.000 FINISH PROJECTED EXTERIOR WALLS | ONE LAYER OF 1/2" X 3/4" GYP BOARD ON TOP OF CONCRETE FOUNDATION WITH 1/2" GYP BOARD ON BOTTOM. FINISH AS NOTED. |
| 1.000 FINISH PROJECTED EXTERIOR WALLS | ALL LATHES OF 1/2" X 3/4" GYP BOARD ON TOP OF CONCRETE FOUNDATION WITH 1/2" GYP BOARD ON BOTTOM. FINISH AS NOTED. |
| 1.000 FINISH PROJECTED EXTERIOR WALLS | ONE LAYER OF 1/2" X 3/4" GYP BOARD ON TOP OF CONCRETE FOUNDATION WITH 1/2" GYP BOARD ON BOTTOM. FINISH AS NOTED. |
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| 1.000 FINISH PROJECTED EXTERIOR WALLS | ONE LAYER OF 1/2" X 3/4" GYP BOARD ON TOP OF CONCRETE FOUNDATION WITH 1/2" GYP BOARD ON BOTTOM. FINISH AS NOTED. |
| 1.000 FINISH PROJECTED EXTERIOR WALLS | ONE LAYER OF 1/2" X 3/4" GYP BOARD ON TOP OF CONCRETE FOUNDATION WITH 1/2" GYP BOARD ON BOTTOM. FINISH AS NOTED. |
| 1.000 FINISH PROJECTED EXTERIOR WALLS | ONE LAYER OF 1/2" X 3/4" GYP BOARD ON TOP OF CONCRETE FOUNDATION WITH 1/2" GYP BOARD ON BOTTOM. FINISH AS NOTED. |
| FLOOR/CEILING GUS SCHEDULE | |
| 1.000 FINISH PROJECTED FLOOR | ONE LAYER OF 1/2" X 3/4" GYP BOARD ON TOP OF CONCRETE FOUNDATION WITH 1/2" GYP BOARD ON BOTTOM. FINISH AS NOTED. |
| 1.000 FINISH PROJECTED CEILING | ONE LAYER OF 1/2" X 3/4" GYP BOARD ON TOP OF CONCRETE FOUNDATION WITH 1/2" GYP BOARD ON BOTTOM. FINISH AS NOTED. |
| GENERAL NOTES | |
| 1. PROVIDE CRAFTSMANRY TO OPERATE AS CALLED UNLESS OTHERWISE NOTED OR AS PER LOCAL CODES. | |
| 2. ALL OPERATIONS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES. | |
| 3. ALL OPERATIONS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES. | |
| 4. ALL OPERATIONS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES. | |
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| 19. ALL OPERATIONS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES. | |
| 20. ALL OPERATIONS TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES. | |

FUGLEBERG KOCH ARCHITECTS
 Orlando
 200 N. W. 1st St., Suite 1000
 32801

AS BUILT

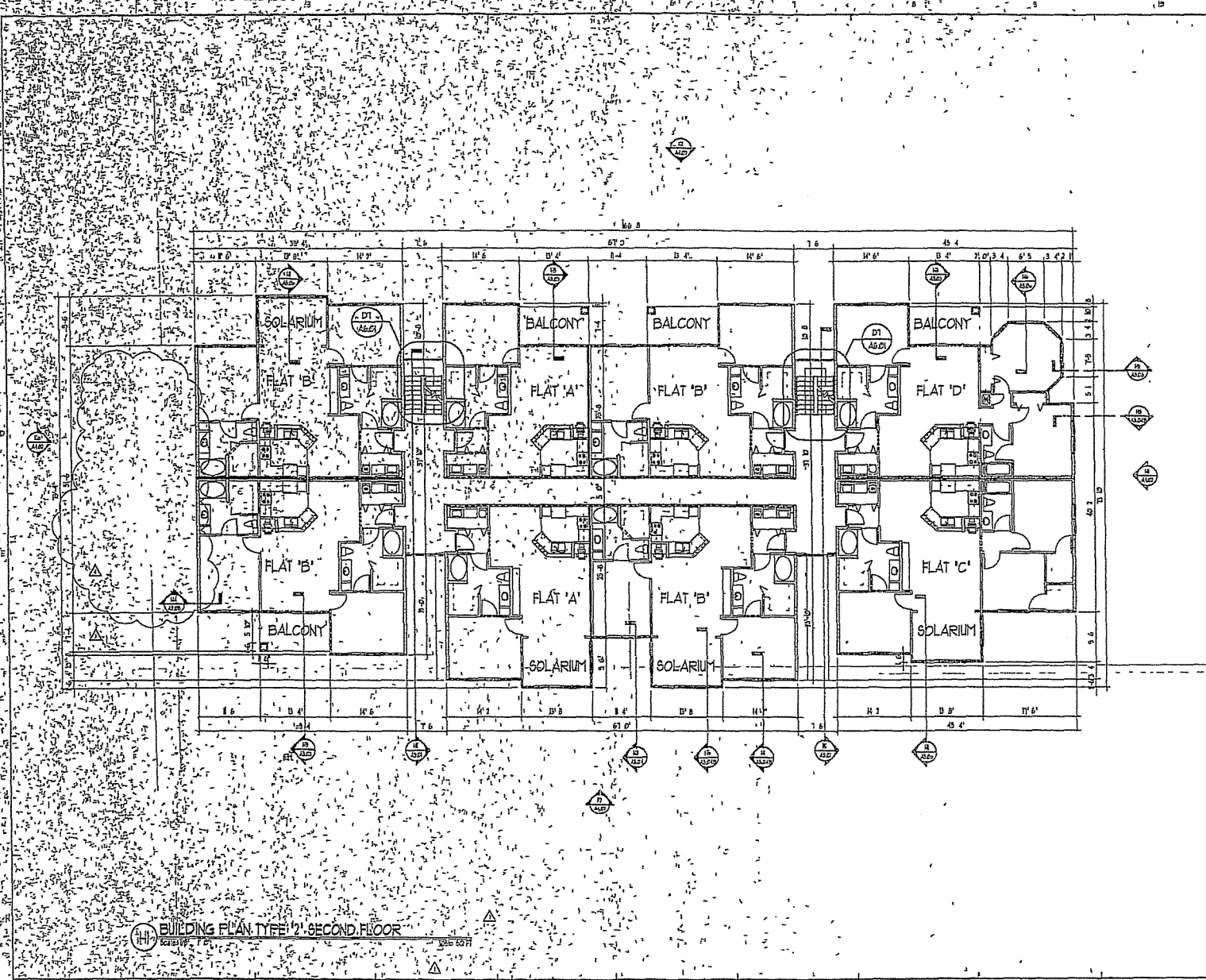
VINTAGE AT FENWICK PLANTATION
 CHARLESTON, SOUTH CAROLINA

BUILDING PLAN TYPE '2' FIRST FLOOR

A202A

BUILDING PLAN TYPE '2' FIRST FLOOR

AK J 642 PG808



BUILDING PLAN TYPE '2' SECOND FLOOR

| NOTES | |
|-----------------------------------|--|
| WALL GIB SCHEDULE | |
| 1 | CONCRETE IN TYPE '2' WALLS TO BE 12" THICK UNLESS OTHERWISE NOTED. SEE SECTION 05100 FOR FINISHES. |
| 2 | CONCRETE IN TYPE '2' WALLS TO BE 12" THICK UNLESS OTHERWISE NOTED. SEE SECTION 05100 FOR FINISHES. |
| 3 | CONCRETE IN TYPE '2' WALLS TO BE 12" THICK UNLESS OTHERWISE NOTED. SEE SECTION 05100 FOR FINISHES. |
| 4 | CONCRETE IN TYPE '2' WALLS TO BE 12" THICK UNLESS OTHERWISE NOTED. SEE SECTION 05100 FOR FINISHES. |
| 5 | CONCRETE IN TYPE '2' WALLS TO BE 12" THICK UNLESS OTHERWISE NOTED. SEE SECTION 05100 FOR FINISHES. |
| 6 | CONCRETE IN TYPE '2' WALLS TO BE 12" THICK UNLESS OTHERWISE NOTED. SEE SECTION 05100 FOR FINISHES. |
| 7 | CONCRETE IN TYPE '2' WALLS TO BE 12" THICK UNLESS OTHERWISE NOTED. SEE SECTION 05100 FOR FINISHES. |
| FLOOR/CEILING GIB SCHEDULE | |
| 1 | CONCRETE IN TYPE '2' FLOORS TO BE 4" THICK UNLESS OTHERWISE NOTED. SEE SECTION 05100 FOR FINISHES. |
| 2 | CONCRETE IN TYPE '2' FLOORS TO BE 4" THICK UNLESS OTHERWISE NOTED. SEE SECTION 05100 FOR FINISHES. |
| 3 | CONCRETE IN TYPE '2' FLOORS TO BE 4" THICK UNLESS OTHERWISE NOTED. SEE SECTION 05100 FOR FINISHES. |
| 4 | CONCRETE IN TYPE '2' FLOORS TO BE 4" THICK UNLESS OTHERWISE NOTED. SEE SECTION 05100 FOR FINISHES. |
| GENERAL NOTES | |
| 1 | PROVIDE GIBS FOR ALL WALLS AND FLOORS UNLESS OTHERWISE NOTED. |
| 2 | ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED. |
| 3 | ALL FINISHES TO BE AS SHOWN ON THE DRAWINGS. |
| 4 | ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES. |

FUOLEBERG KOCH ARCHITECTS

Orlando
1100 South Orange Avenue, Suite 2000
(407) 833-1100

AS BUILT

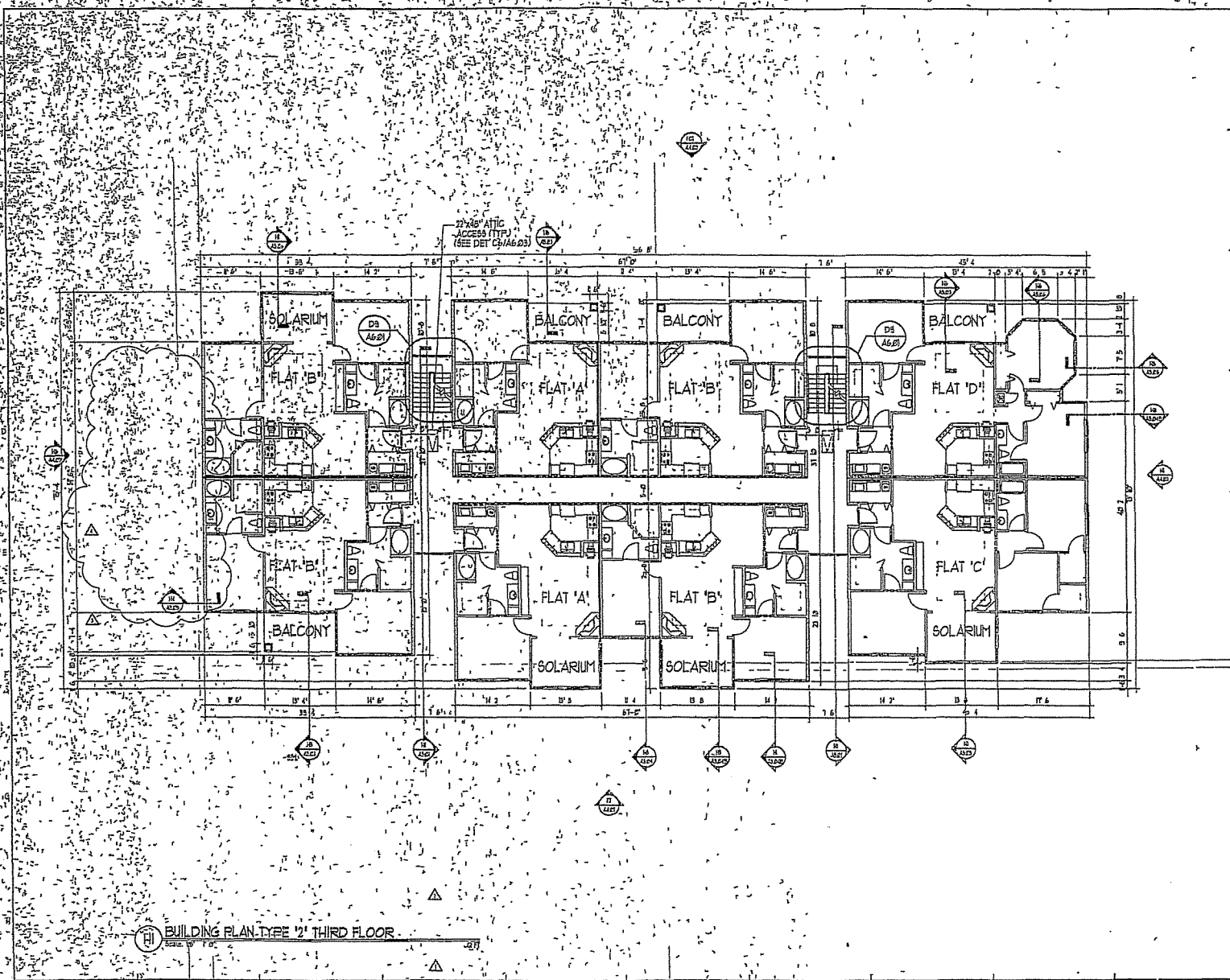
VINTAGE AT FENWICK PLANTATION

CHARLESTON SOUTH CAROLINA

BUILDING PLAN TYPE '2' SECOND FLOOR

A2 02B

AK J 542PG809



BUILDING PLAN TYPE '2' THIRD FLOOR

NOTES

| WALL GUB SCHEDULE | | | | | | | | | | | | | |
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| A | <table border="1"> <tr> <td>PROPOSED INTERIOR WALL</td> <td>ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD</td> </tr> <tr> <td>PROPOSED EXTERIOR WALL</td> <td>ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD</td> </tr> <tr> <td>PROPOSED INTERIOR GIBBUM WALL</td> <td>ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD</td> </tr> <tr> <td>PROPOSED EXTERIOR GIBBUM WALL</td> <td>ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD</td> </tr> <tr> <td>PROPOSED INTERIOR GIBBUM WALL</td> <td>ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD</td> </tr> <tr> <td>PROPOSED EXTERIOR GIBBUM WALL</td> <td>ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD</td> </tr> </table> | PROPOSED INTERIOR WALL | ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD | PROPOSED EXTERIOR WALL | ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD | PROPOSED INTERIOR GIBBUM WALL | ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD | PROPOSED EXTERIOR GIBBUM WALL | ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD | PROPOSED INTERIOR GIBBUM WALL | ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD | PROPOSED EXTERIOR GIBBUM WALL | ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD |
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FLOOR/CEILING GUB SCHEDULE

| | | | | | |
|------------------|---|----------------|---|------------------|---|
| A | <table border="1"> <tr> <td>PROPOSED FLOOR</td> <td>ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD</td> </tr> <tr> <td>PROPOSED CEILING</td> <td>ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD</td> </tr> </table> | PROPOSED FLOOR | ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD | PROPOSED CEILING | ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD |
| PROPOSED FLOOR | ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD | | | | |
| PROPOSED CEILING | ONE LAYER OF 1/2" TYPE X GIBBUM BOARD OVER 1/2" TYPE X GIBBUM BOARD | | | | |

GENERAL NOTES

- PROVIDE DETAIL FOR ALL WALLS AND CEILING JOINTS TO MATCH DETAIL C2/A6/D3.
- ALL OTHERS SHALL BE AS SHOWN.
- ALL OTHERS SHALL BE AS SHOWN.

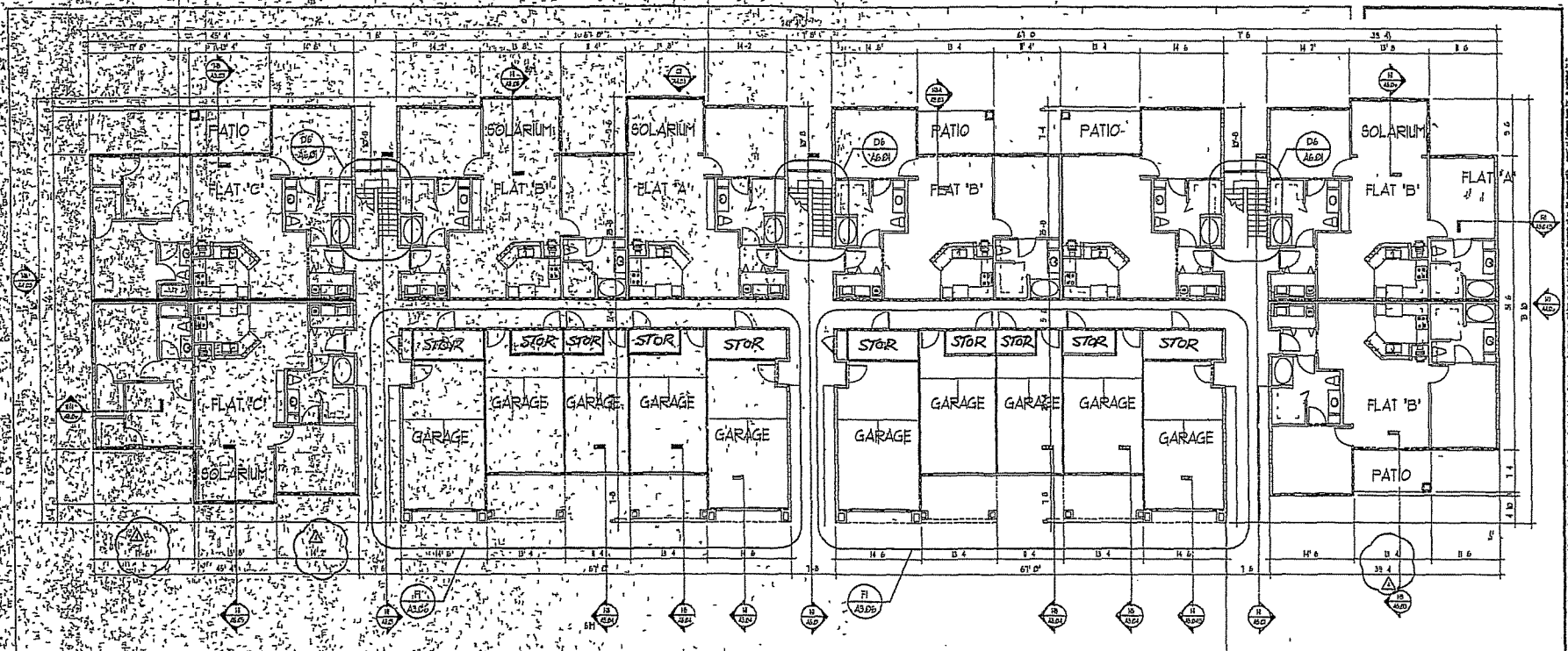
FUGLEBERG KOCH ARCHITECTS

Orlando
3281 W. WALNUT HILL RD. SUITE 200
ORLANDO, FL 32825

AS BUILT

| | |
|---|--------------|
| VINTAGE AT FENWICK PLANTATION | AS BUILT |
| CHARLESTON SOUTH CAROLINA | 02.02.03 |
| BUILDING PLAN TYPE '2' THIRD FLOOR | A202C |

BK J 642PG810



BUILDING PLAN TYPE '3', FIRST FLOOR

| BULL DOG SCHEDULE | |
|-------------------|---------------|
| 1 | CONCRETE |
| 2 | BRICK |
| 3 | GLASS |
| 4 | WOOD |
| 5 | PAINT |
| 6 | ROOFING |
| 7 | MECHANICAL |
| 8 | ELECTRICAL |
| 9 | PLUMBING |
| 10 | FINISHES |
| 11 | LANDSCAPE |
| 12 | UTILITIES |
| 13 | ASBESTOS |
| 14 | LEAD |
| 15 | MOISTURE |
| 16 | TERmites |
| 17 | ENVIRONMENTAL |
| 18 | ACoustic |
| 19 | Fire |
| 20 | Other |

NOTES

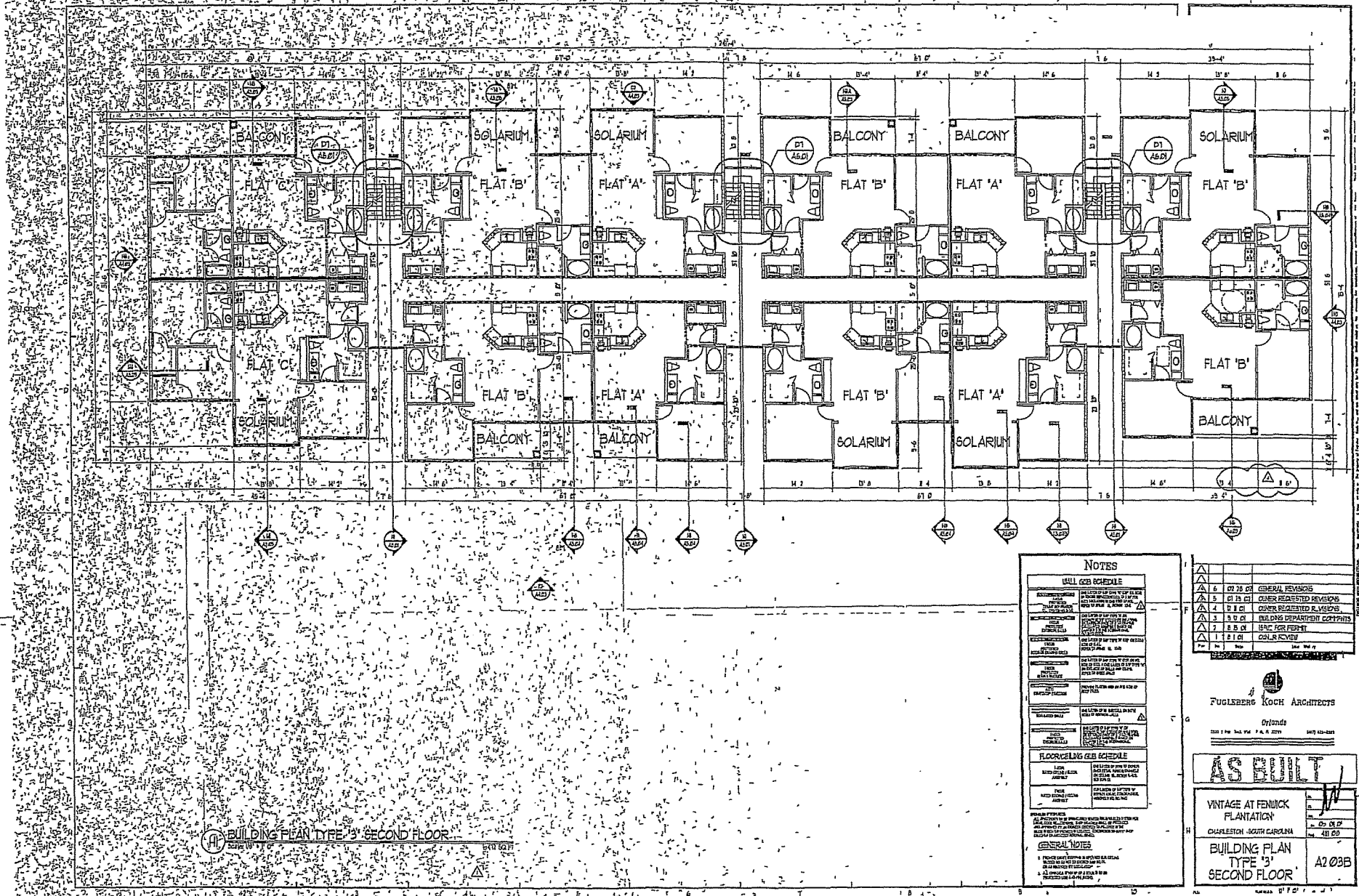
| | |
|---|------------------------------|
| 1 | GENERAL REVISIONS |
| 2 | OWNER REQUESTED REVISIONS |
| 3 | OWNER REQUESTED REVISIONS |
| 4 | OWNER REQUESTED REVISIONS |
| 5 | BUILDING DEPARTMENT COMMENTS |
| 6 | BASE FOR PERMIT |
| 7 | OWNER REVISIONS |

FUGLEBERG KOCH ARCHITECTS
 Orlando
 2115 Orange Ave., Suite 200, Ft. Worth, TX 76102 (817) 491-4242

AS LUM

VINTAGE AT FENWICK PLANTATION
 CHARLESTON, SOUTH CAROLINA
 BUILDING PLAN TYPE '3' FIRST FLOOR
 A2 03A

DK J 642PG811



NOTES

| USU1 GIB SCHEDULE | |
|-------------------|-----------------------------|
| 1 | DOOR TO FLAT 'A' FROM STAIR |
| 2 | DOOR TO FLAT 'B' FROM STAIR |
| 3 | DOOR TO FLAT 'C' FROM STAIR |
| 4 | DOOR TO SOLARIUM |
| 5 | DOOR TO BALCONY |
| 6 | DOOR TO STAIR |
| 7 | DOOR TO ENTRY |
| 8 | DOOR TO HALL |
| 9 | DOOR TO TOILET |
| 10 | DOOR TO BATH |
| 11 | DOOR TO KITCHEN |
| 12 | DOOR TO LIVING |
| 13 | DOOR TO BEDROOM |
| 14 | DOOR TO CLOSET |
| 15 | DOOR TO TERRACE |
| 16 | DOOR TO PORCH |
| 17 | DOOR TO GARAGE |
| 18 | DOOR TO SERVICE |
| 19 | DOOR TO STORAGE |
| 20 | DOOR TO MECHANICAL |
| 21 | DOOR TO ELECTRICAL |
| 22 | DOOR TO PLUMBING |
| 23 | DOOR TO ROOF |
| 24 | DOOR TO BASEMENT |
| 25 | DOOR TO ATTIC |
| 26 | DOOR TO MECHANICAL |
| 27 | DOOR TO ELECTRICAL |
| 28 | DOOR TO PLUMBING |
| 29 | DOOR TO ROOF |
| 30 | DOOR TO BASEMENT |
| 31 | DOOR TO ATTIC |
| 32 | DOOR TO MECHANICAL |
| 33 | DOOR TO ELECTRICAL |
| 34 | DOOR TO PLUMBING |
| 35 | DOOR TO ROOF |
| 36 | DOOR TO BASEMENT |
| 37 | DOOR TO ATTIC |
| 38 | DOOR TO MECHANICAL |
| 39 | DOOR TO ELECTRICAL |
| 40 | DOOR TO PLUMBING |
| 41 | DOOR TO ROOF |
| 42 | DOOR TO BASEMENT |
| 43 | DOOR TO ATTIC |
| 44 | DOOR TO MECHANICAL |
| 45 | DOOR TO ELECTRICAL |
| 46 | DOOR TO PLUMBING |
| 47 | DOOR TO ROOF |
| 48 | DOOR TO BASEMENT |
| 49 | DOOR TO ATTIC |
| 50 | DOOR TO MECHANICAL |
| 51 | DOOR TO ELECTRICAL |
| 52 | DOOR TO PLUMBING |
| 53 | DOOR TO ROOF |
| 54 | DOOR TO BASEMENT |
| 55 | DOOR TO ATTIC |
| 56 | DOOR TO MECHANICAL |
| 57 | DOOR TO ELECTRICAL |
| 58 | DOOR TO PLUMBING |
| 59 | DOOR TO ROOF |
| 60 | DOOR TO BASEMENT |
| 61 | DOOR TO ATTIC |
| 62 | DOOR TO MECHANICAL |
| 63 | DOOR TO ELECTRICAL |
| 64 | DOOR TO PLUMBING |
| 65 | DOOR TO ROOF |
| 66 | DOOR TO BASEMENT |
| 67 | DOOR TO ATTIC |
| 68 | DOOR TO MECHANICAL |
| 69 | DOOR TO ELECTRICAL |
| 70 | DOOR TO PLUMBING |
| 71 | DOOR TO ROOF |
| 72 | DOOR TO BASEMENT |
| 73 | DOOR TO ATTIC |
| 74 | DOOR TO MECHANICAL |
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| 76 | DOOR TO PLUMBING |
| 77 | DOOR TO ROOF |
| 78 | DOOR TO BASEMENT |
| 79 | DOOR TO ATTIC |
| 80 | DOOR TO MECHANICAL |
| 81 | DOOR TO ELECTRICAL |
| 82 | DOOR TO PLUMBING |
| 83 | DOOR TO ROOF |
| 84 | DOOR TO BASEMENT |
| 85 | DOOR TO ATTIC |
| 86 | DOOR TO MECHANICAL |
| 87 | DOOR TO ELECTRICAL |
| 88 | DOOR TO PLUMBING |
| 89 | DOOR TO ROOF |
| 90 | DOOR TO BASEMENT |
| 91 | DOOR TO ATTIC |
| 92 | DOOR TO MECHANICAL |
| 93 | DOOR TO ELECTRICAL |
| 94 | DOOR TO PLUMBING |
| 95 | DOOR TO ROOF |
| 96 | DOOR TO BASEMENT |
| 97 | DOOR TO ATTIC |
| 98 | DOOR TO MECHANICAL |
| 99 | DOOR TO ELECTRICAL |
| 100 | DOOR TO PLUMBING |

FLOORING GIB SCHEDULE

| | |
|----|------------------|
| 1 | WOOD FLOOR |
| 2 | CONCRETE FLOOR |
| 3 | CEMENT FLOOR |
| 4 | PAVING FLOOR |
| 5 | ROOF FLOOR |
| 6 | BASEMENT FLOOR |
| 7 | ATTIC FLOOR |
| 8 | MECHANICAL FLOOR |
| 9 | ELECTRICAL FLOOR |
| 10 | PLUMBING FLOOR |
| 11 | ROOF FLOOR |
| 12 | BASEMENT FLOOR |
| 13 | ATTIC FLOOR |
| 14 | MECHANICAL FLOOR |
| 15 | ELECTRICAL FLOOR |
| 16 | PLUMBING FLOOR |

GENERAL NOTES

- ALL WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES AND REGULATIONS.
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- ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES AND REGULATIONS.

| NO. | DATE | REVISIONS |
|-----|----------|-------------------|
| 1 | 01/15/01 | GENERAL REVISIONS |
| 2 | 02/15/01 | GENERAL REVISIONS |
| 3 | 03/15/01 | GENERAL REVISIONS |
| 4 | 04/15/01 | GENERAL REVISIONS |
| 5 | 05/15/01 | GENERAL REVISIONS |
| 6 | 06/15/01 | GENERAL REVISIONS |
| 7 | 07/15/01 | GENERAL REVISIONS |
| 8 | 08/15/01 | GENERAL REVISIONS |
| 9 | 09/15/01 | GENERAL REVISIONS |
| 10 | 10/15/01 | GENERAL REVISIONS |
| 11 | 11/15/01 | GENERAL REVISIONS |
| 12 | 12/15/01 | GENERAL REVISIONS |

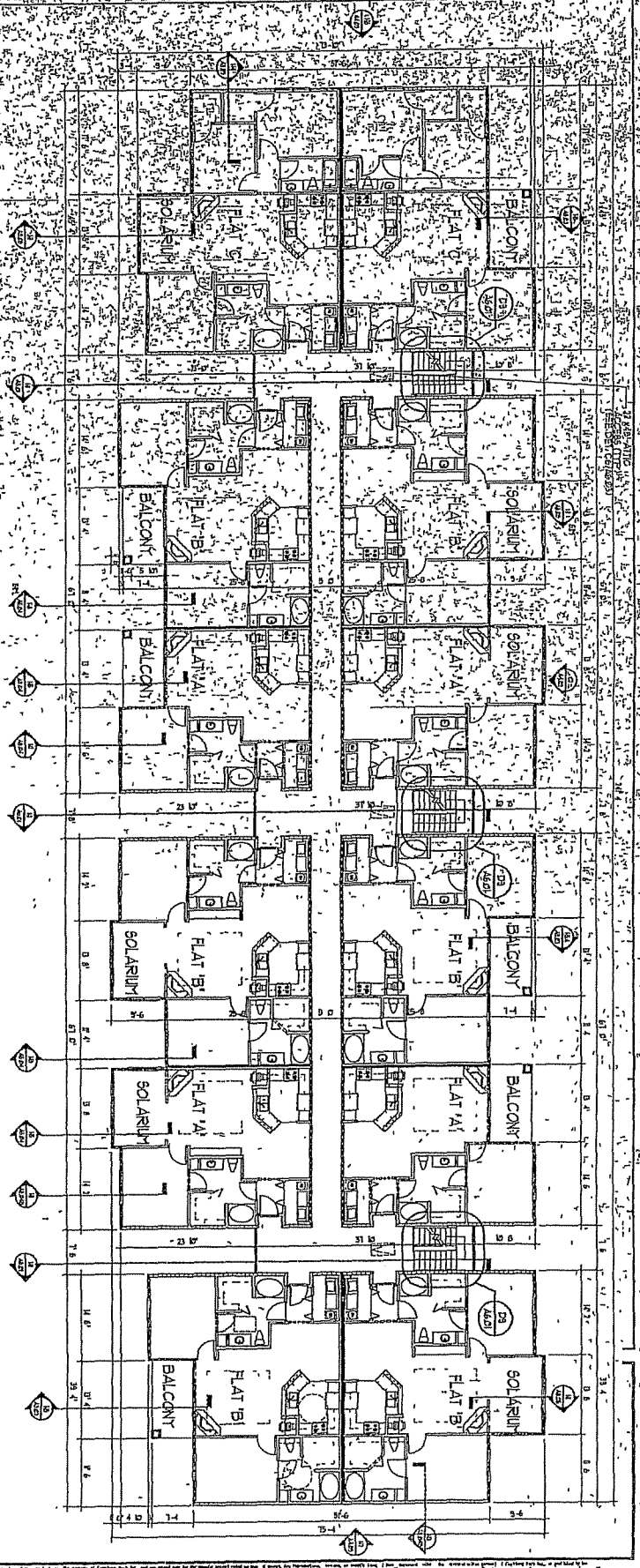
FUGLSBERG KOCH ARCHITECTS
 Orlando
 222 N. W. 1st St., P.O. Box 2071
 32780-2071

AS BUILT

VINTAGE AT FENWICK PLANTATION
 CHARLESTON, SOUTH CAROLINA

BUILDING PLAN TYPE '3' SECOND FLOOR A203B

III BUILDING PLAN TYPE 3 THIRD FLOOR



NOTES

| | |
|-----------------------|--|
| ALL DIMENSIONS | IN MILLIMETERS UNLESS OTHERWISE SPECIFIED. |
| LEVELS | AS SHOWN ON THE PLAN UNLESS OTHERWISE SPECIFIED. |
| FINISHES | AS SHOWN ON THE PLAN UNLESS OTHERWISE SPECIFIED. |
| DOORS | AS SHOWN ON THE PLAN UNLESS OTHERWISE SPECIFIED. |
| WINDOWS | AS SHOWN ON THE PLAN UNLESS OTHERWISE SPECIFIED. |
| STAIRS | AS SHOWN ON THE PLAN UNLESS OTHERWISE SPECIFIED. |
| ELEVATORS | AS SHOWN ON THE PLAN UNLESS OTHERWISE SPECIFIED. |
| GENERAL NOTES | 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE SINGAPORE BUILDING REGULATIONS AND THE SINGAPORE BUILDING ACT. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. 4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES. 5. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES. |

ASBUILT

YANKEE AT FENICK
PLANTATION
QUESTION MARKS
BUILDING PLAN
TYPE 3
THIRD FLOOR

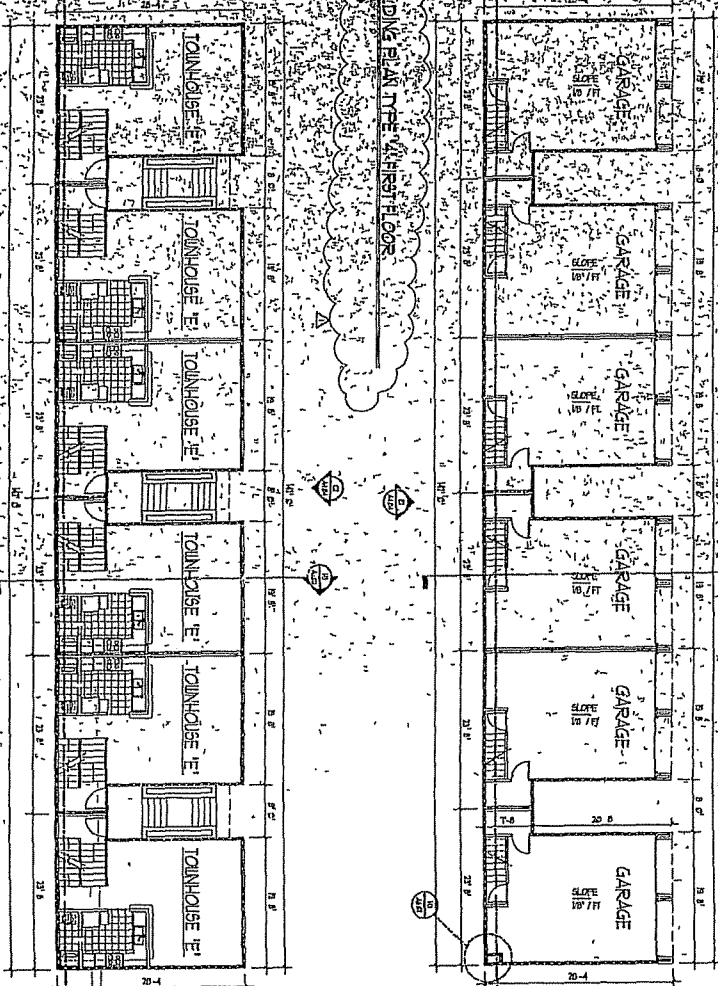
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| NO. | REVISION | DATE |
| 1 | ISSUED FOR TENDER | 15/11/2011 |
| 2 | FOR APPROVAL | 15/11/2011 |
| 3 | FOR APPROVAL | 15/11/2011 |
| 4 | FOR APPROVAL | 15/11/2011 |
| 5 | FOR APPROVAL | 15/11/2011 |
| 6 | FOR APPROVAL | 15/11/2011 |
| 7 | FOR APPROVAL | 15/11/2011 |
| 8 | FOR APPROVAL | 15/11/2011 |
| 9 | FOR APPROVAL | 15/11/2011 |
| 10 | FOR APPROVAL | 15/11/2011 |

YUANSHENG KOOH ARCHITECTS
Office: 15, Upper Macao Street, Singapore 110001
Tel: 65 6339 8888
Fax: 65 6339 8889
www.ykoo.com

ASBUILT
YANKEE AT FENICK
PLANTATION
QUESTION MARKS
BUILDING PLAN
TYPE 3
THIRD FLOOR

(G) BUILDING PLAN TYPE 4 SECOND FLOOR

(D) BUILDING PLAN TYPE 4 FIRST FLOOR



AS BUILT
 VINAGE AT FENWICK
 PLANTATION
 SUBDIVISION
 BUILDING PLAN
 TYPE 4
 2ND FLOOR PLANS
 42044
 11/14/10

FROENSHORN KOCH ARCHITECTS
 OFFICE
 1015 10th St. N
 MINNEAPOLIS, MN 55412
 TEL: 612.338.8300
 FAX: 612.338.8301
 WWW.FKARCHITECTS.COM

| NO. | REVISION | DATE | BY | CHKD. |
|-----|----------|------|----|-------|
| 1 | AS BUILT | | | |
| 2 | | | | |
| 3 | | | | |
| 4 | | | | |
| 5 | | | | |

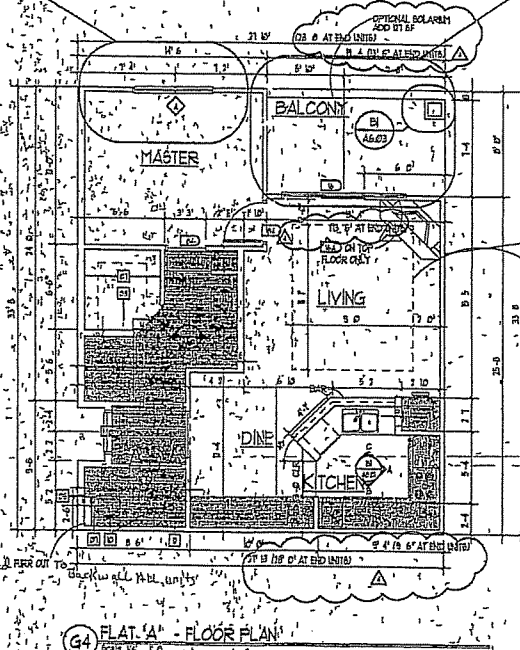
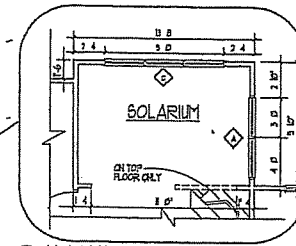
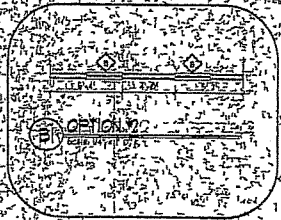
GENERAL NOTES
 1. THESE PLANS AND SPECIFICATIONS SHALL BE CONSIDERED TO BE THE COMPLETE AND EXHAUSTIVE STATEMENT OF WORK FOR THE PROJECT.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ADJACENT AREAS AND UTILITIES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT AREAS AND UTILITIES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ADJACENT AREAS AND UTILITIES.
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 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ADJACENT AREAS AND UTILITIES.

NOTES
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE.
 3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ADJACENT AREAS AND UTILITIES.
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 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ADJACENT AREAS AND UTILITIES.

FLOOR GIB LEGEND
 GIB 1000 - 1000
 GIB 1001 - 1001
 GIB 1002 - 1002
 GIB 1003 - 1003
 GIB 1004 - 1004
 GIB 1005 - 1005
 GIB 1006 - 1006
 GIB 1007 - 1007
 GIB 1008 - 1008
 GIB 1009 - 1009
 GIB 1010 - 1010
 GIB 1011 - 1011
 GIB 1012 - 1012
 GIB 1013 - 1013
 GIB 1014 - 1014
 GIB 1015 - 1015
 GIB 1016 - 1016
 GIB 1017 - 1017
 GIB 1018 - 1018
 GIB 1019 - 1019
 GIB 1020 - 1020

| NO. | DESCRIPTION | FINISH |
|-----|-------------|------------|
| 1 | CEILING | POP COATED |
| 2 | WALL | POP COATED |
| 3 | FLOOR | CONCRETE |
| 4 | DOOR | WOOD |
| 5 | WINDOW | WOOD |
| 6 | STAIR | WOOD |
| 7 | BATH | WOOD |
| 8 | KITCHEN | WOOD |
| 9 | LIVING | WOOD |
| 10 | BEDROOM | WOOD |
| 11 | BEDROOM | WOOD |
| 12 | BEDROOM | WOOD |
| 13 | BEDROOM | WOOD |
| 14 | BEDROOM | WOOD |
| 15 | BEDROOM | WOOD |
| 16 | BEDROOM | WOOD |
| 17 | BEDROOM | WOOD |
| 18 | BEDROOM | WOOD |
| 19 | BEDROOM | WOOD |
| 20 | BEDROOM | WOOD |

BK J 642PC814



| DESCRIPTION | COARSE FEET |
|----------------|-------------|
| 1 BEDROOM UNIT | 54 SF |
| SOLARIUM | 58 SF |
| SOLARIUM | 51 SF |

NOTES

- GENERAL NOTES**
1. MOST OF ALL GROUND UNITS SHALL BE ACCESSIBLE. ALL OPENINGS IN THE UNITS SHALL BE MIN 3' CLEAR WITH A 7' OF DOOR MIN.
 2. LOOP O- ALL GROUND UNITS SHALL BE NO ADJUSTABLE PROVIDE SOLID BLOOMING IN BATHROOM WALLS FOR GRAB BARS.
 3. PROVIDE GROUND FLOOR LIGHTS WITH 120V ELECTRICAL SWITCHES (BASIC SWITCH) ON HEMP DRAGGERS PROVIDED CL. BY AFF.
 4. RECEPTACLES IN ALL GROUND UNITS SHALL BE PROVIDED FOR 15 AMP.
 5. PROVIDE 2"X6" 6" RATED ATIC ACCESS TO TOP FLOOR UNITS ONLY.
 6. PROVIDE ONE 1" X 1" B-C FIRE EXTINGUISHER PER APF LOCATED PER FIRE DEPT. REG.
 7. ROD 1 SCLF # 3 @ AFF. TYPICAL.
 8. 2 ROD 1 SCLF # 3 @ 16" @ AFF.
 9. ALL UNITS SHALL COMPLY BY THE FLORIDA ACCESSIBILITY CODE. FURNISHING REGULATIONS TO CLOTHES DRESSER & DRESSER.
 10. 8 SHELVES 16" DEEP.
 11. 2 BATH BENCH.
 12. R-11 INSULATION IN CEILING ONE SIDE ONLY FOR SOUND BARRIER.
 13. INDICATED CEILING DROP TO 8' @ AFF.
- REVISIONS**
- | NO. | DATE | DESCRIPTION |
|-----|---------|------------------|
| 1 | 10/1/01 | ISSUE FOR PERMIT |
| 2 | 10/1/01 | OWNER REVIEW |

| NO. | DATE | DESCRIPTION |
|-----|---------|------------------|
| 1 | 10/1/01 | ISSUE FOR PERMIT |
| 2 | 10/1/01 | OWNER REVIEW |

FUGLEBEG KOCH ARCHITECTS
 Orlando
 2100 West Lake Ave., Suite 200
 (407) 251-1111

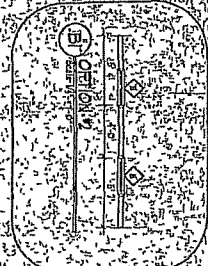
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VINTAGE AT FERNICK PLANTATION

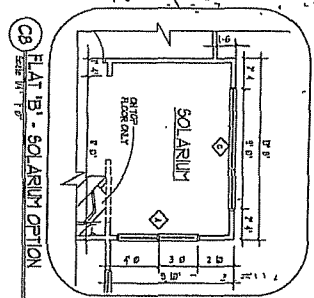
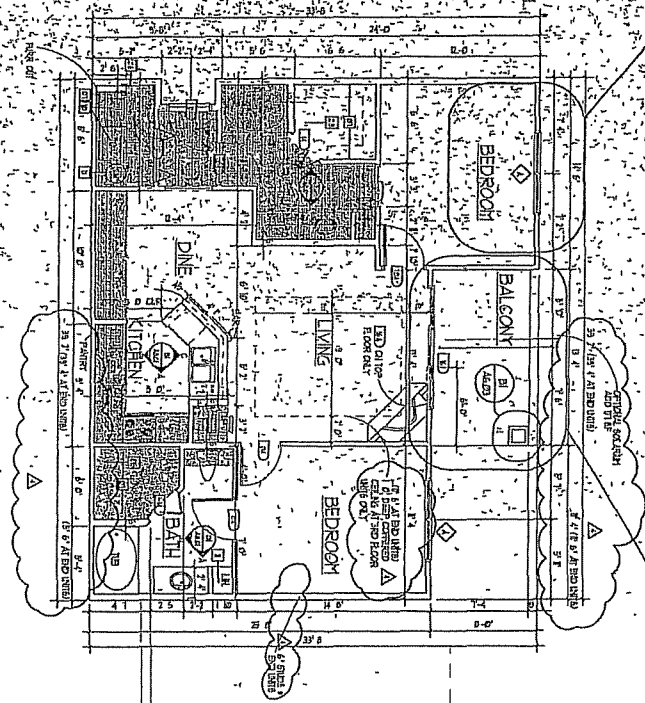
CHARLESTON SOUTH CAROLINA

FLAT 'A' - FLOOR PLANS

A301



C) FLAT 'B' - FLOOR PLAN



| | |
|--------------|-------------|
| RESIDENTIAL | SQUARE FEET |
| 1380 SQ. FT. | 1380 |
| BALCONY | 80 |
| SOLARIUM | 115 |
| TOTAL | 1575 |

NOTES

- GENERAL NOTES
1. ALL DIMENSIONS SHOWN ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
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20. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.

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|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|----|----|----|----|----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 |

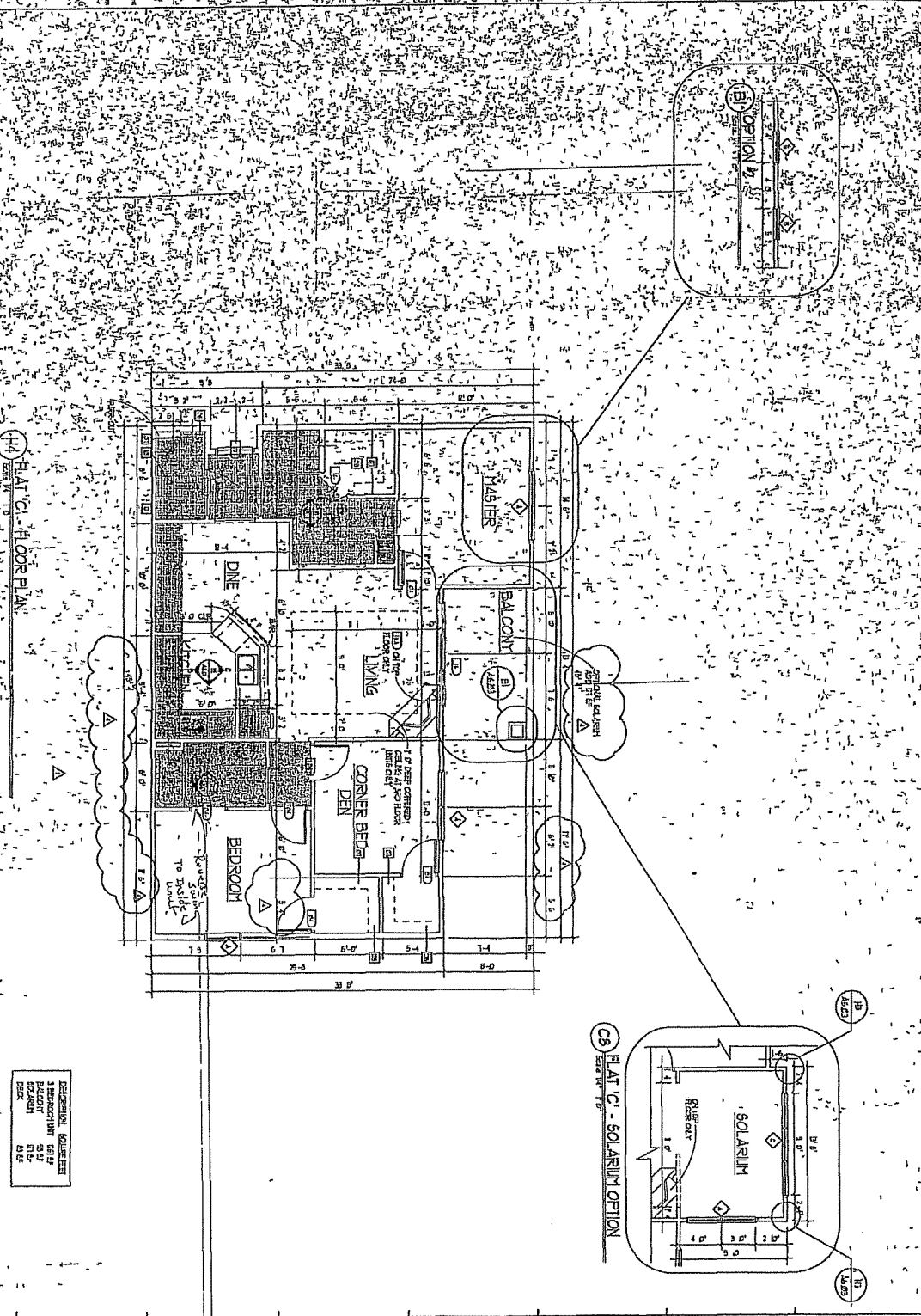
AS BUILT

UNIQUE ATTENUICK

FLAT 'B'

FLOOR PLAN

A302



FLAT 'C' - FLOOR PLAN

FLAT 'C' - SOLARIUM OPTION

| | |
|----------------|--------|
| 3 BEDROOM UNIT | 50 SF |
| BALCONY | 50 SF |
| STAIR | 10 SF |
| CL. | 10 SF |
| TOTAL | 120 SF |

NOTES

1. LOOK FOR ALL OPENINGS MUST BE ACCURATELY LOCATED IN THE UNIT FLOOR PLAN FOR CLEARANCE.
2. WORK OF ALL TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
4. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
5. PROVIDE ONE (1) 2" x 2" x 1/2" RIGID PVC PIPE FOR THE UNIT.
6. PROVIDE ONE (1) 2" x 2" x 1/2" RIGID PVC PIPE FOR THE UNIT.
7. PROVIDE ONE (1) 2" x 2" x 1/2" RIGID PVC PIPE FOR THE UNIT.
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20. PROVIDE ONE (1) 2" x 2" x 1/2" RIGID PVC PIPE FOR THE UNIT.

GENERAL NOTES

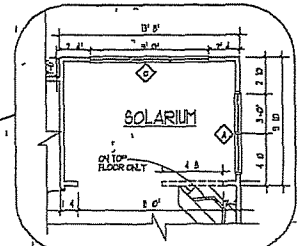
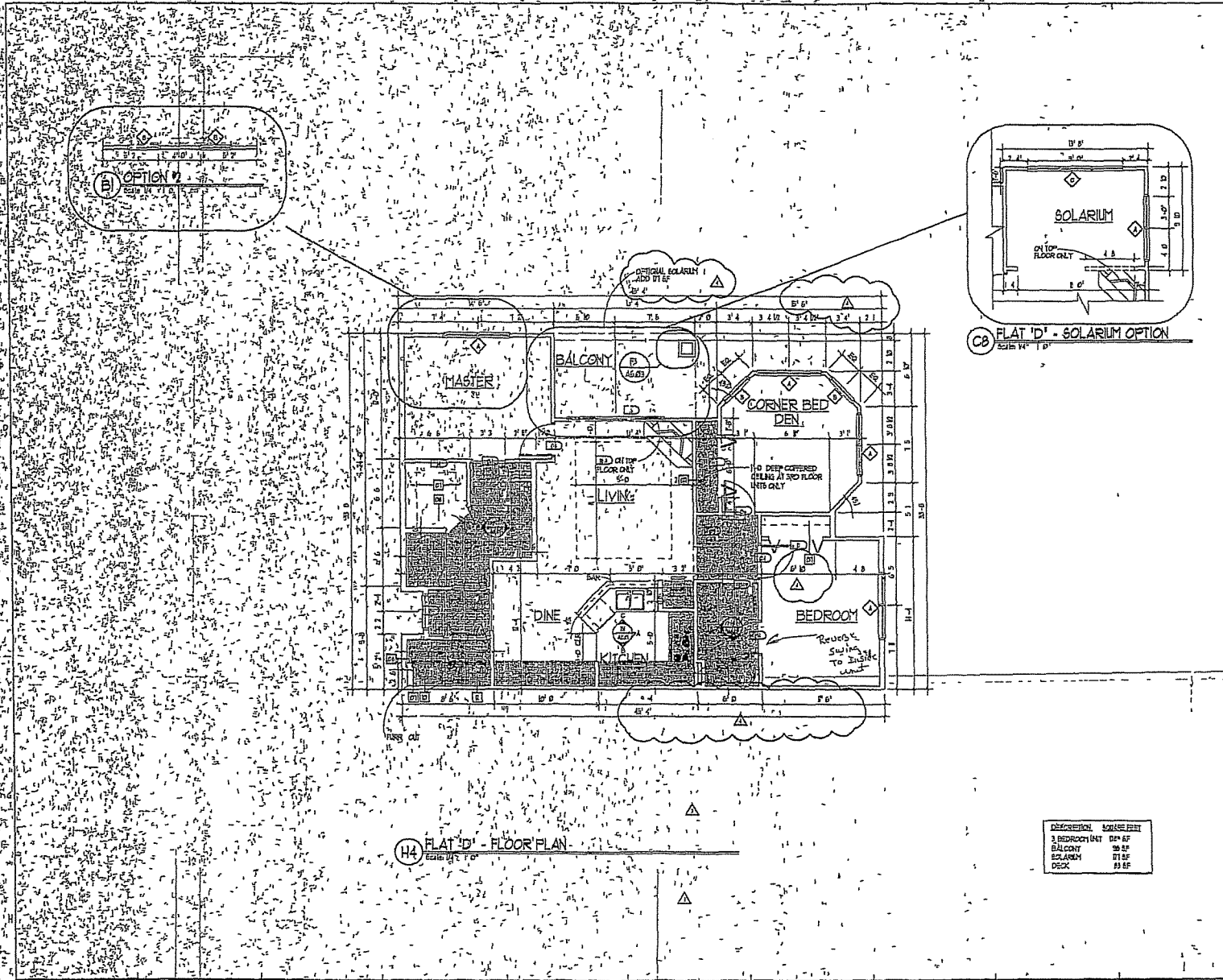
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10. PROVIDE ONE (1) 2" x 2" x 1/2" RIGID PVC PIPE FOR THE UNIT.
11. PROVIDE ONE (1) 2" x 2" x 1/2" RIGID PVC PIPE FOR THE UNIT.
12. PROVIDE ONE (1) 2" x 2" x 1/2" RIGID PVC PIPE FOR THE UNIT.
13. PROVIDE ONE (1) 2" x 2" x 1/2" RIGID PVC PIPE FOR THE UNIT.
14. PROVIDE ONE (1) 2" x 2" x 1/2" RIGID PVC PIPE FOR THE UNIT.
15. PROVIDE ONE (1) 2" x 2" x 1/2" RIGID PVC PIPE FOR THE UNIT.
16. PROVIDE ONE (1) 2" x 2" x 1/2" RIGID PVC PIPE FOR THE UNIT.
17. PROVIDE ONE (1) 2" x 2" x 1/2" RIGID PVC PIPE FOR THE UNIT.
18. PROVIDE ONE (1) 2" x 2" x 1/2" RIGID PVC PIPE FOR THE UNIT.
19. PROVIDE ONE (1) 2" x 2" x 1/2" RIGID PVC PIPE FOR THE UNIT.
20. PROVIDE ONE (1) 2" x 2" x 1/2" RIGID PVC PIPE FOR THE UNIT.

AS BUILT

Village at Fremick
FLORIDA
CHERRY BLOSSOM

FLAT 'C'
FLOOR PLAN - A303

BK J 642PG817



C8 FLAT 'D' - SOLARIUM OPTION
2016 14' x 11' 0"

H4 FLAT 'D' - FLOOR PLAN
2016 17' 0" x 33' 0"

| DESCRIPTION | SQUARE FEET |
|----------------|-------------|
| 3 BEDROOM UNIT | 1047 SF |
| BALCONY | 99 SF |
| SOLARIUM | 171 SF |
| DECK | 93 SF |

NOTES

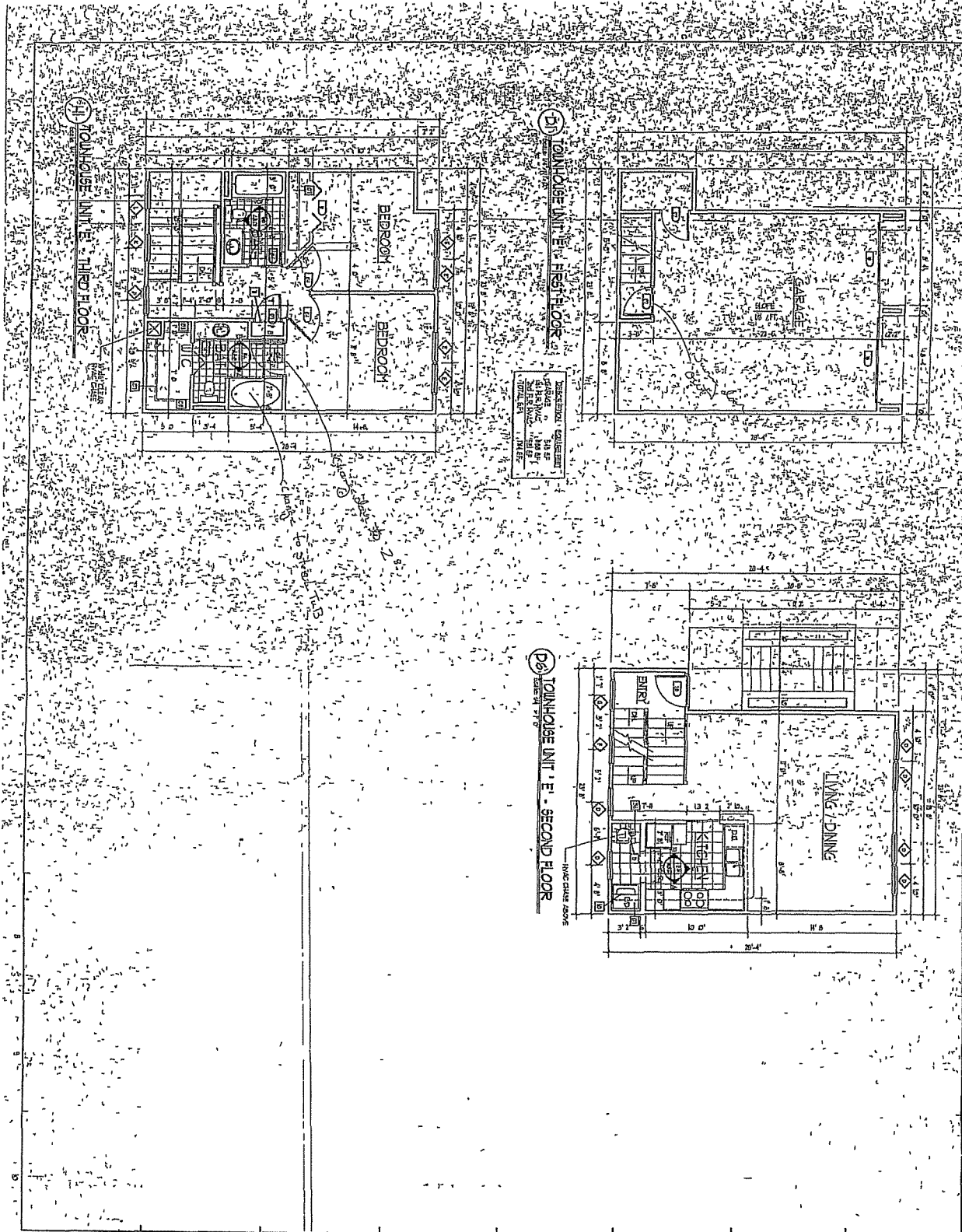
- GENERAL NOTES**
1. DOOR OF ALL GROUND UNITS SHALL BE NO ACCESSIBLE. ALL GROUND UNITS SHALL BE 1/2" CLEAR WITH A 1/2" DOOR FIN.
 2. DOOR OF ALL GROUND UNITS SHALL BE NO ACCESSIBLE. PROVIDE SOLID BLOCK IN BATHROOM WALLS FOR GRAB BARS.
 3. PROVIDE GROUND FLOOR DEPRESSIONS AND ELECTRICAL OUTLETS BEING SLOPE ON RISE DRAINAGE POINTS 4" 31 A/F.
 4. RECOMMENDED IN ALL GROUND LEVEL UNITS SHALL BE POINTED IN. 4" A/F.
 5. PROVIDE 72 1/2" RATED ATIC ACCESS TO TOP FLOOR UNITS ONLY.
 6. PROVIDE ONE 1" A/D B/C TO FIRE EXTRINSIC-LER PER APT LOCATE PER FIRE DEPT REQ.
 7. RFD 1 GALL 4" 6" 9" A/F. TYPICAL.
 8. RFD 2 RFD 1 1/4" 4" 3/4" 1" 4" 7/8".
 9. ALL UNITS SHALL COMPLY TO THE FLORIDA ACCESSIBILITY CODE (FAR) HOUSING REGULATIONS.
 10. FLOOR NUMBER 1 LOWER.
 11. 3/4" 3/4" 1/2" DEEP.
 12. WATER HEATER.
 13. RFD 1 SOLARIUM UNFINISHED CEILING ONLY FOR SOUND BARRIER.
 14. INDICATES CEILING DROP TO 10' 0" AFF.
- REVISIONS**
- | NO. | DATE | DESCRIPTION |
|-----|----------|-------------|
| 1 | 10/10/16 | ISSUE |
| 2 | 10/10/16 | ISSUE |
| 3 | 10/10/16 | ISSUE |
15. AT CONTRACTOR'S OPTION USE 7/8" GALVANIZED STEEL FOR INTERIOR NON-LOAD BEARING CONDITION.
16. VERIFY WALL LOCATION TO PROVIDE CLEAR OPENING REQUIRED FOR SI FOLD DOWN THE CHAIRS, OR APPLIANCE TO BE INSTALLED.
17. PROVIDE LEVER HANDLES AT DESIGNATED GROUND FLOOR UNITS PER ADA REQUIREMENTS.
18. PROVIDE HANDING SCHEDULE FOR ORIGINAL MUST BE USED AT EACH FIVE ASSEMBLY.

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------------------|
| A1 | | |
| A2 | | |
| A3 | | |
| A4 | 02/20/17 | GENERAL REVISIONS |
| A5 | 01/24/17 | OWNER REQUESTED REVISIONS |
| A6 | 01/24/17 | OWNER REQUESTED REVISIONS |
| A7 | 01/24/17 | OWNER REQUESTED REVISIONS |
| A8 | 01/24/17 | MUNICIPAL DEPARTMENT CORRY HIS |
| A9 | 01/24/17 | ISSUE FOR PERMIT |
| A10 | 01/24/17 | OWNER REVIEW |

FUGLEBERG KOCH ARCHITECTS
Orlando
2225 Lyndale Blvd, Suite 200, Palm Beach Gardens, FL 33480 (407) 975-6675

AS BUILT

| | |
|-------------------------------|----------------|
| VINTAGE AT PENNICK PLANTATION | NO. 02, 03, 04 |
| CHARLESTON SOUTH CAROLINA | NO. 02, 03, 04 |
| FLAT 'D' FLOOR PLAN | A 304 |



NOTES

1. CHECK ALL ROOMS FOR SMOKE DETECTORS. ALL DETECTORS MUST BE 10' FROM THE CEILING AND 1' FROM THE WALL.
2. CHECK ALL ROOMS FOR SMOKE DETECTORS. ALL DETECTORS MUST BE 10' FROM THE CEILING AND 1' FROM THE WALL.
3. PROVIDE GARAGE FLOOR THERMOPLASTIC AND ELECTRICAL OUTLETS PER SPECIFICATIONS.
4. PROVIDE TYPICAL CONNECTIONS OF STAIRS TO FLOOR SLABS PER SPECIFICATIONS.
5. PROVIDE TYPICAL CONNECTIONS OF STAIRS TO FLOOR SLABS PER SPECIFICATIONS.
6. PROVIDE TYPICAL CONNECTIONS OF STAIRS TO FLOOR SLABS PER SPECIFICATIONS.
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10. PROVIDE TYPICAL CONNECTIONS OF STAIRS TO FLOOR SLABS PER SPECIFICATIONS.

GENERAL NOTES

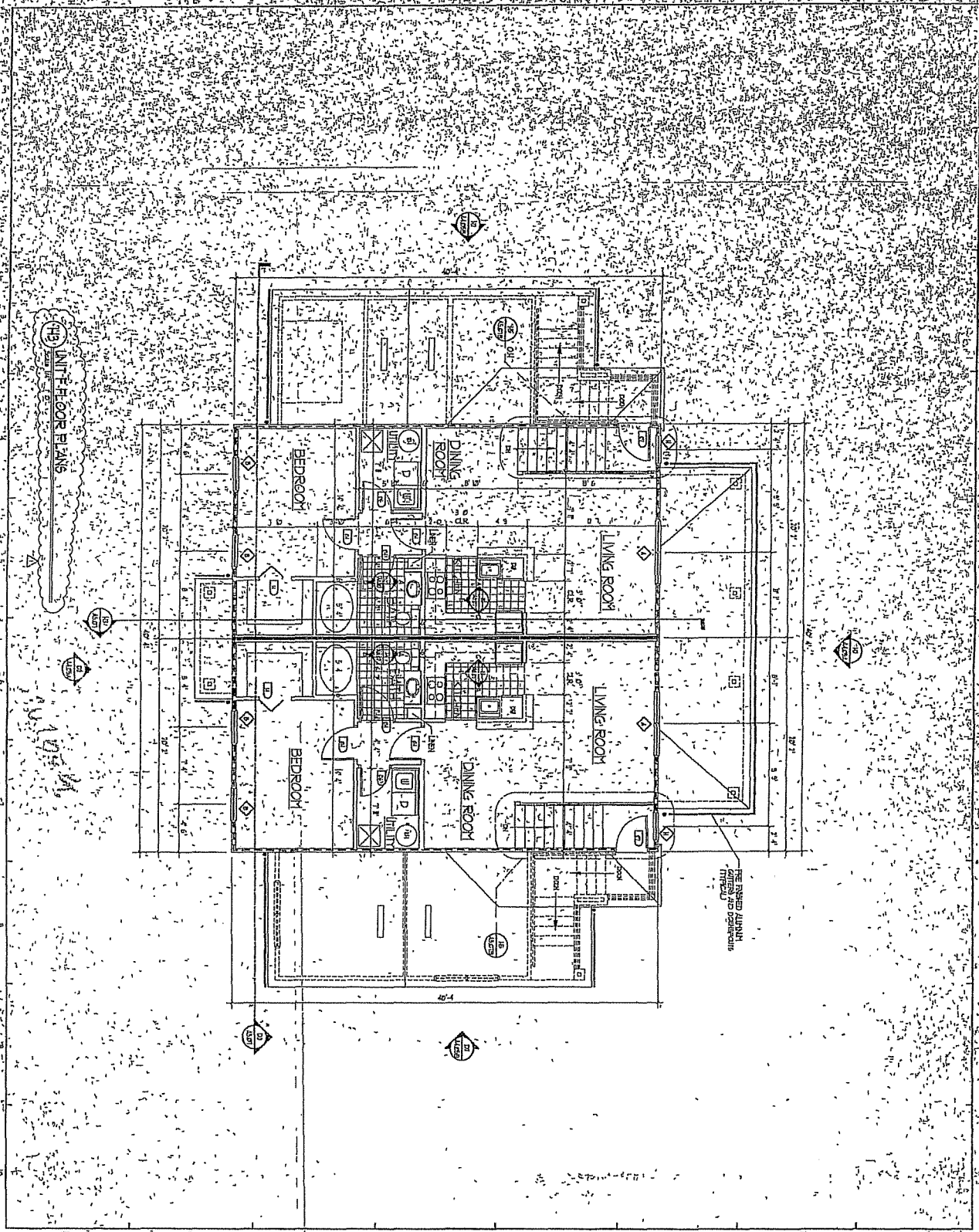
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9. PROVIDE TYPICAL CONNECTIONS OF STAIRS TO FLOOR SLABS PER SPECIFICATIONS.
10. PROVIDE TYPICAL CONNECTIONS OF STAIRS TO FLOOR SLABS PER SPECIFICATIONS.

AS BUILT

AVIAGE AFFINACK PLANTATION

TOWNHOUSE UNIT E - FIRST SECOND & THIRD FLOORS

DATE: 11/15/11



105 SECOND FLOOR PLAN

NOTES

WALL CASE SCHEDULE

| NO. | DESCRIPTION | FINISHES |
|-----|---------------|------------------------------------|
| 1 | INTERIOR WALL | 1/2" GYPSUM BOARD, PAINTED |
| 2 | EXTERIOR WALL | 8" CONCRETE BLOCK, EXTERIOR FINISH |
| 3 | CEILING | 1/2" GYPSUM BOARD, PAINTED |
| 4 | FLOOR | 3" CONCRETE SLAB ON GRADE |

FLOORING CASE SCHEDULE

| NO. | DESCRIPTION | FINISHES |
|-----|-------------|----------------|
| 1 | LIVING ROOM | 1" OAK PARQUET |
| 2 | DINING ROOM | 1" OAK PARQUET |
| 3 | BEDROOM | 1" OAK PARQUET |
| 4 | BATHROOM | 1" OAK PARQUET |

GENERAL NOTES

1. FINISHES TO BE SHOWN IN PLAN.
2. ALL FINISHES TO BE SHOWN IN PLAN.
3. ALL FINISHES TO BE SHOWN IN PLAN.

AS BUILT

UNIQUE ARCHITECTURE
PLANNING
CORPORATION

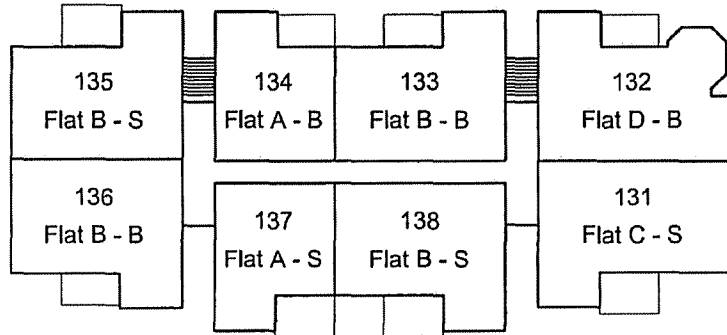
LEASING CENTER
SECOND FLOOR
PLAN

A205B

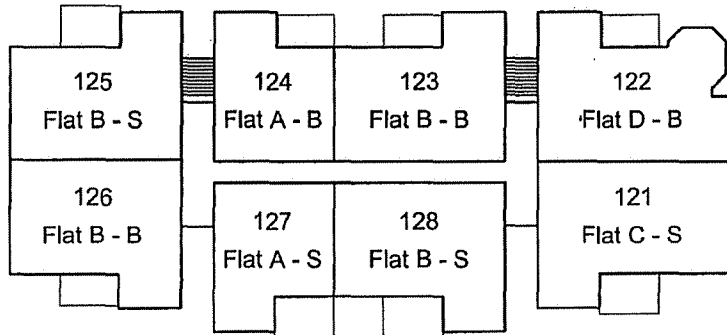
BUILDING TYPE 2

BK J 642PG820

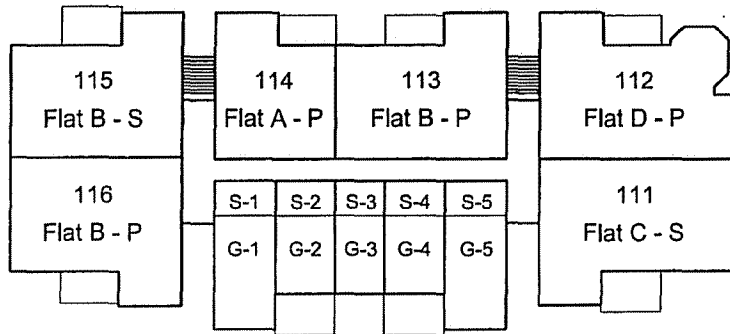
THIRD FLOOR



SECOND FLOOR



FIRST FLOOR



GARAGE AND STORAGE

TWELVE OAKS AT FENWICK PLANTATION

PREPARED FOR

TARRAGON CORPORATION

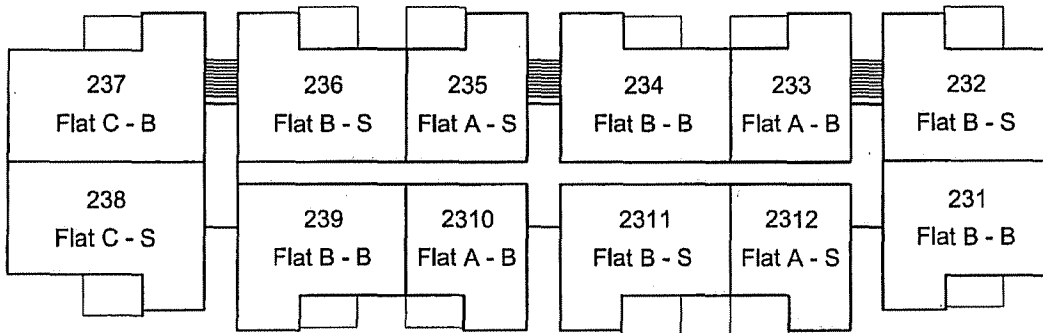
BUILDING #1 LAYOUT

S - SOLARIUM
B - BALCONY
P - PATIO

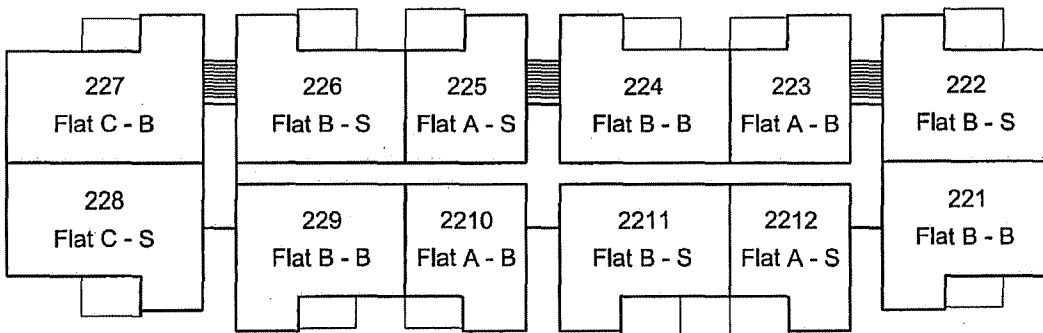
BUILDING TYPE 3

BK J 642PG821

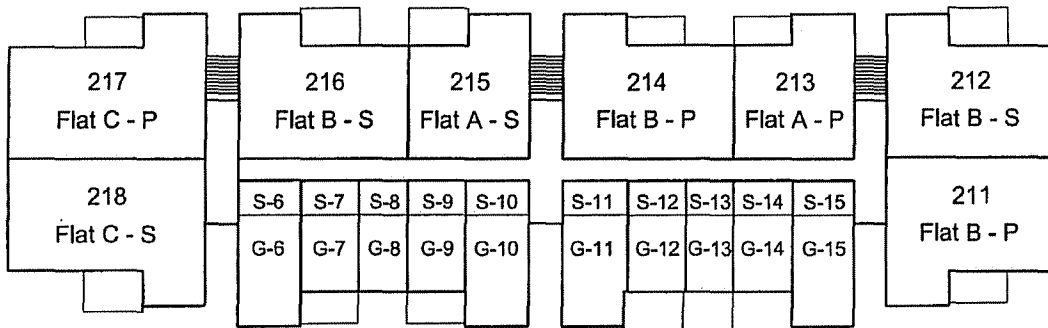
THIRD FLOOR



SECOND FLOOR



FIRST FLOOR



GARAGE AND STORAGE

TWELVE OAKS AT FENWICK PLANTATION

PREPARED FOR

TARRAGON CORPORATION

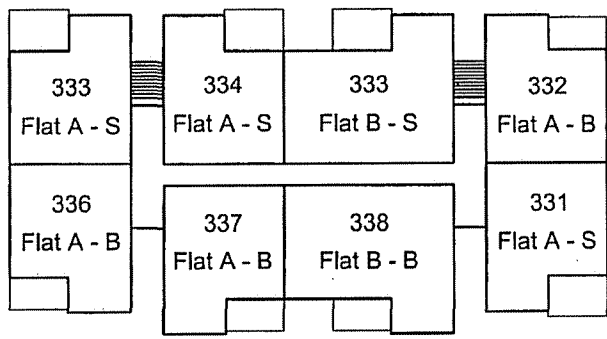
BUILDING #2 LAYOUT

S - SOLARIUM
B - BALCONY
P - PATIO

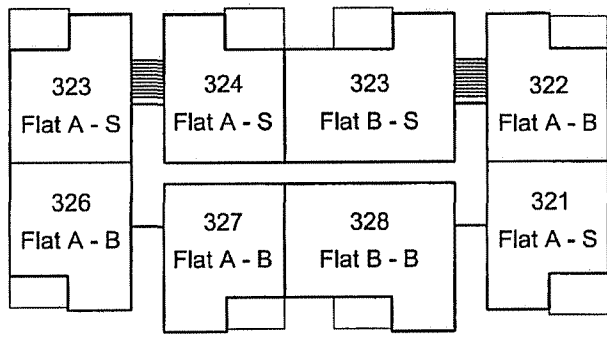
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BUILDING TYPE 1

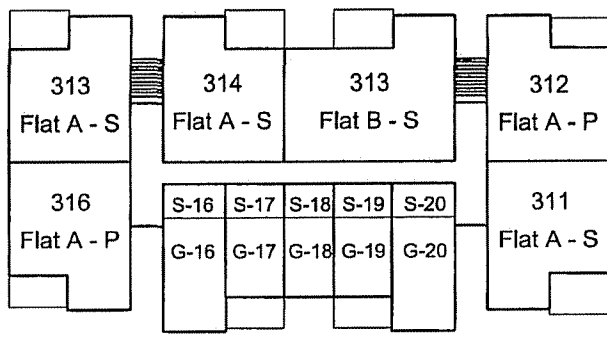
THIRD FLOOR



SECOND FLOOR



FIRST FLOOR



GARAGE AND STORAGE

TWELVE OAKS AT FENWICK PLANTATION

PREPARED FOR

TARRAGON CORPORATION

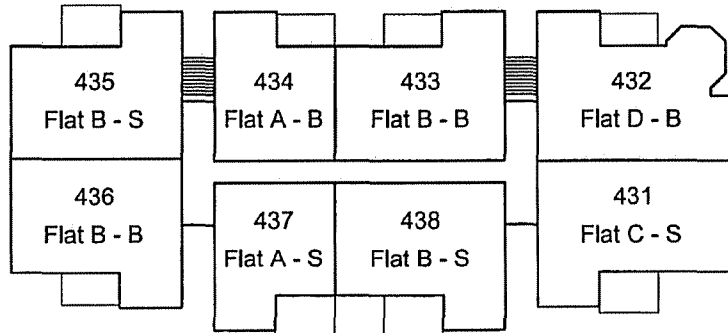
BUILDING #3 LAYOUT

S - SOLARIUM
B - BALCONY
P - PATIO

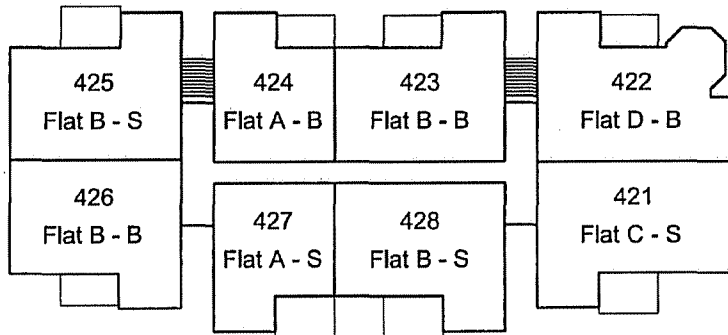
BK J 642PG823

BUILDING TYPE 2

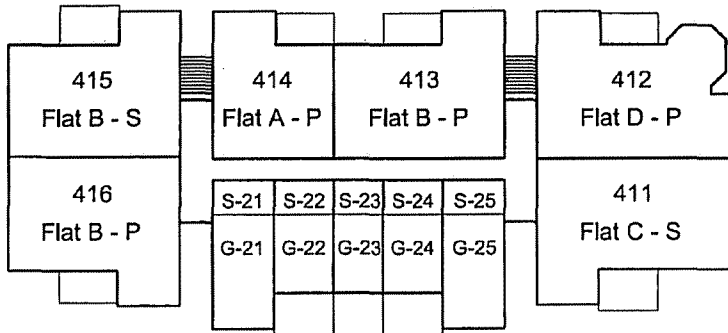
THIRD FLOOR



SECOND FLOOR



FIRST FLOOR



GARAGE AND STORAGE

TWELVE OAKS AT FENWICK PLANTATION

PREPARED FOR

TARRAGON CORPORATION

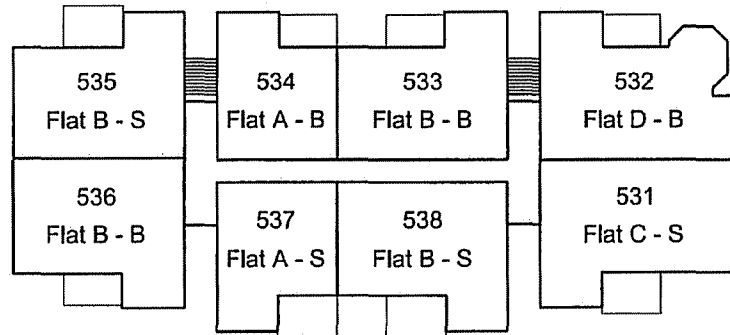
BUILDING #4 LAYOUT

S - SOLARIUM
B - BALCONY
P - PATIO

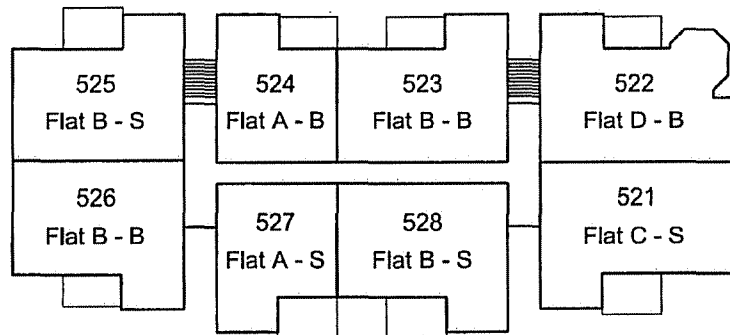
BUILDING TYPE 2

BK J 642PG824

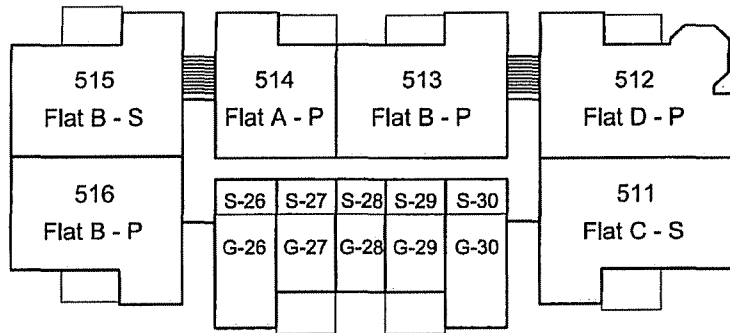
THIRD FLOOR



SECOND FLOOR



FIRST FLOOR



GARAGE AND STORAGE

TWELVE OAKS AT FENWICK PLANTATION

PREPARED FOR

TARRAGON CORPORATION

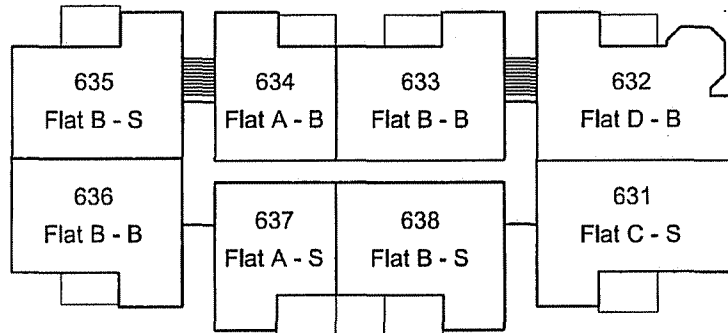
BUILDING #5 LAYOUT

S - SOLARIUM
 B - BALCONY
 P - PATIO

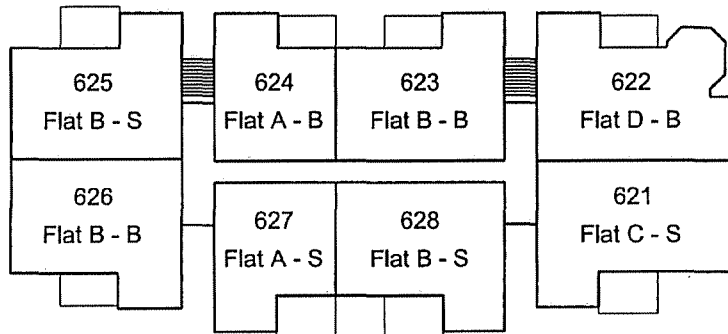
BUILDING TYPE 2

BK J 642PG825

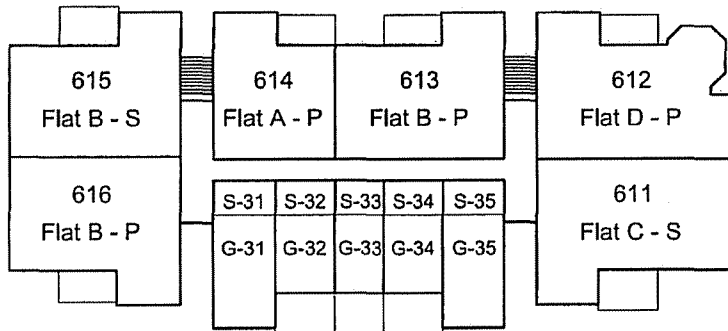
THIRD FLOOR



SECOND FLOOR



FIRST FLOOR



GARAGE AND STORAGE

TWELVE OAKS AT FENWICK PLANTATION

PREPARED FOR

TARRAGON CORPORATION

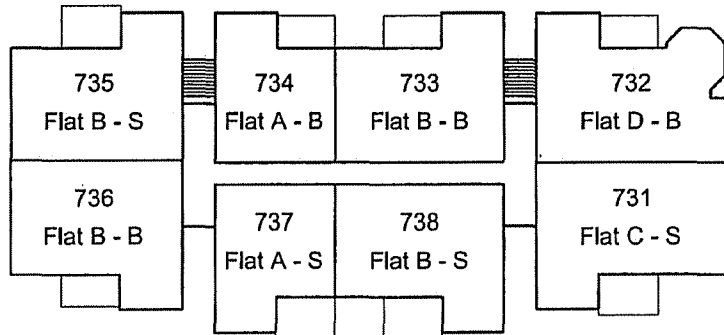
BUILDING #6 LAYOUT

S - SOLARIUM
B - BALCONY
P - PATIO

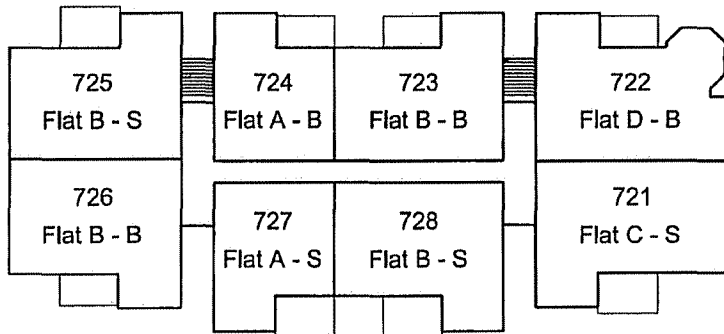
BUILDING TYPE 2

BK J 642PG826

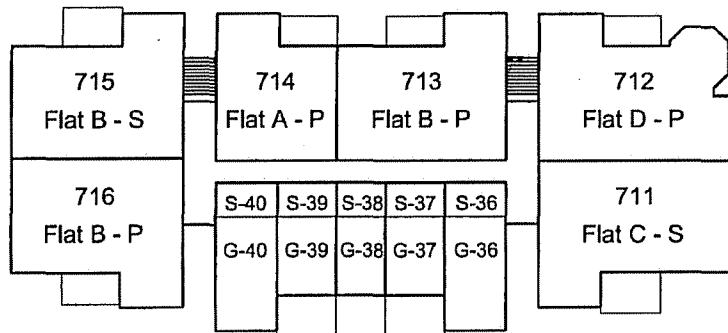
THIRD FLOOR



SECOND FLOOR



FIRST FLOOR



GARAGE AND STORAGE

TWELVE OAKS AT FENWICK PLANTATION

PREPARED FOR

TARRAGON CORPORATION

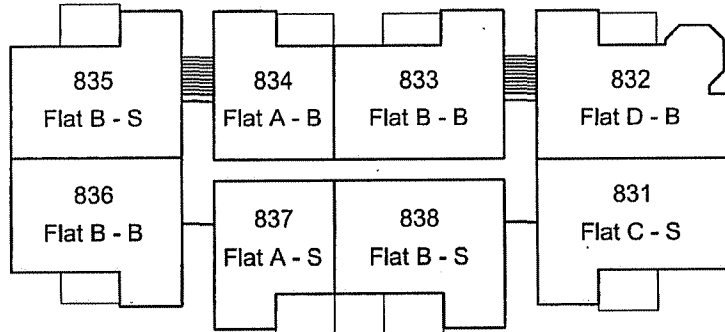
BUILDING #7 LAYOUT

S - SOLARIUM
B - BALCONY
P - PATIO

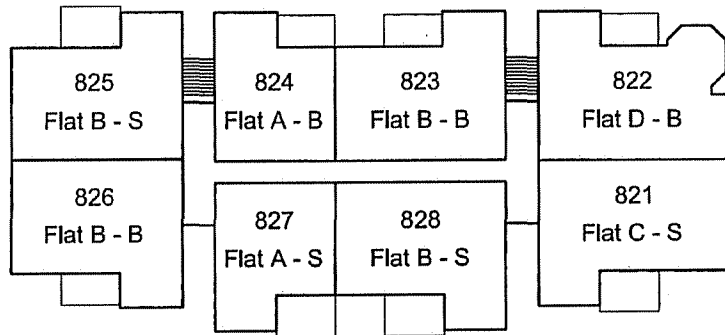
BUILDING TYPE 2

BK J 642PG827

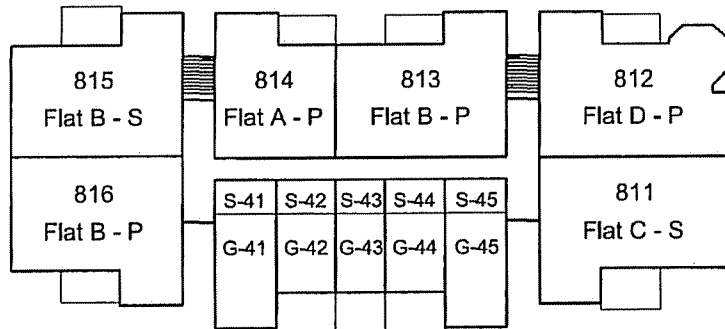
THIRD FLOOR



SECOND FLOOR



FIRST FLOOR



GARAGE AND STORAGE

TWELVE OAKS AT FENWICK PLANTATION

PREPARED FOR

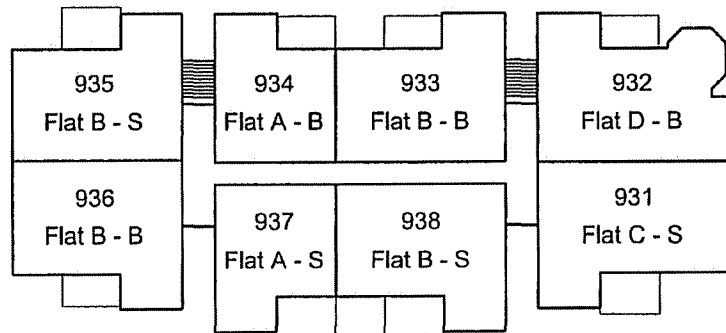
TARRAGON CORPORATION

BUILDING #8 LAYOUT

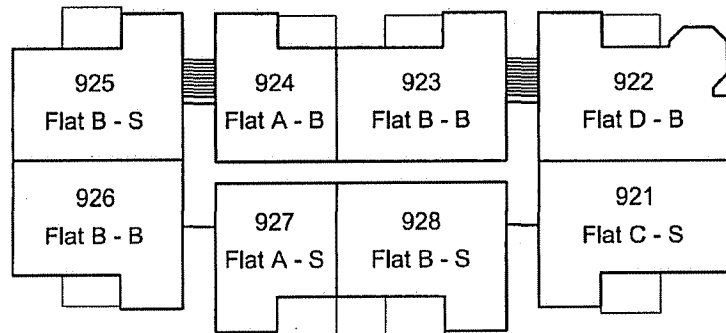
S - SOLARIUM
B - BALCONY
P - PATIO

BUILDING TYPE 2 BK J 642PG828

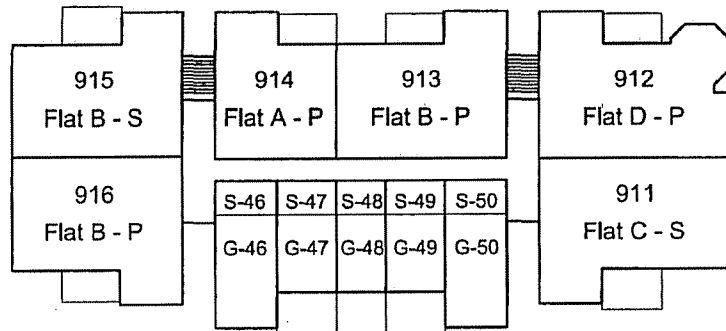
THIRD FLOOR



SECOND FLOOR



FIRST FLOOR



GARAGE AND STORAGE

TWELVE OAKS AT FENWICK PLANTATION

PREPARED FOR

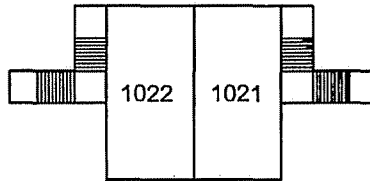
TARRAGON CORPORATION

BUILDING #9 LAYOUT

S - SOLARIUM
B - BALCONY
P - PATIO

BK J 642PG829

SECOND FLOOR



TWELVE OAKS AT FENWICK PLANTATION

PREPARED FOR

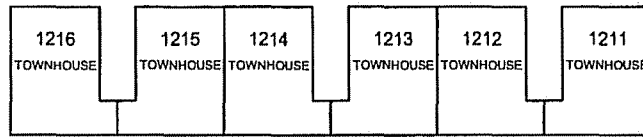
TARRAGON CORPORATION

BUILDING #10 LAYOUT - SECOND FLOOR

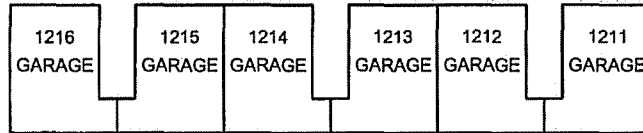
BUILDING TYPE 4

BK J 642PG830

SECOND FLOOR - TOWNHOUSE



FIRST FLOOR - GARAGE



TWELVE OAKS AT FENWICK PLANTATION

PREPARED FOR

TARRAGON CORPORATION

BUILDING #12 LAYOUT

BK J 642PG831

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| Recording Fee | \$ | 41.00 |
| State Fee | \$ | - |
| County Fee | \$ | - |
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DATE 10-30-07

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